

AGENDA



PLANNING AND ZONING COMMISSION MEETING
CITY HALL, 385 SOUTH GOLIAD, ROCKWALL, TEXAS
AUGUST 15, 2023 IN THE CITY COUNCIL CHAMBERS AT 6:00 PM

NOTES: [1] ADDITIONAL CASE INFORMATION CAN BE FOUND AT [HTTPS://SITES.GOOGLE.COM/SITE/ROCKWALLPLANNING/DEVELOPMENT/DEVELOPMENT-CASES](https://sites.google.com/site/rockwallplanning/development/development-cases), AND [2] TO PROVIDE INPUT ON A ZONING OR SPECIFIC USE PERMIT CASE PLEASE [CLICK HERE](#) OR CLICK ON THE LINK ABOVE AND USE THE ZONING AND SPECIFIC USE PERMIT INPUT FORM ON THE CITY'S WEBSITE.

(I) CALL TO ORDER

(II) APPOINTMENTS

- (1) Appointment with the Architectural Review Board (ARB) Chairman to receive the Architectural Review Board's recommendations and comments for items on the agenda requiring architectural review.

(III) OPEN FORUM

This is a time for anyone to address the Planning and Zoning Commission on any topic that is not already listed on the agenda for a public hearing. Per the policies of the City of Rockwall, public comments are limited to three (3) minutes out of respect for the time of other citizens. On topics raised during the OPEN FORUM, please know that the Planning and Zoning Commission is not permitted to respond to your comments during the meeting per the Texas Open Meetings Act.

(IV) CONSENT AGENDA

These agenda items are administrative in nature or include cases that meet all of the technical requirements stipulated by the Unified Development Code (UDC) and Chapter 38, Subdivisions, of the Municipal Code of Ordinances, and do not involve discretionary approvals.

- (2) Approval of minutes for the July 25, 2023 Planning and Zoning Commission meeting.

(V) PUBLIC HEARING ITEMS

This is a time for anyone to speak concerning their issues with a public hearing case. If you would like to speak regarding an item listed in this section, please submit a Request to Address the Planning and Zoning Commission (i.e. the yellow forms available at the podium or from staff). The Planning and Zoning Commission Chairman will call upon you to come forward at the proper time or will ask if anyone in the audience would like to speak. Please limit all comments to three (3) minutes out of respect for the time of other citizens.

(3) **Z2023-033 (ANGELICA GUEVARA)**

Hold a public hearing to discuss and consider a request by Dennis and Melissa Cain for the approval of a Specific Use Permit (SUP) for Residential Infill Adjacent to an Established Subdivision for the purpose of allowing the construction of a single-family home on a 12.00-acre tract of land identified as Tracts 8-01 & 8-02 of the W. T. DeWeese Survey, Abstract No. 71, City of Rockwall, Rockwall County, Texas, zoned Agricultural (AG) District, addressed as 803 Dalton Road, and take any action necessary.

(4) **Z2023-034 (BETHANY ROSS)**

Hold a public hearing to discuss and consider a request by Dakota, Claire, Austen, and Sara Brewer for the approval of a Zoning Change from a Single-Family Estate 4.0 (SFE-4.0) District to a Single-Family 1.5 (SFE-1.5) District for a 5.24-acre tract of land identified as a Tract 4-2 of the W. W. Ford Survey, Abstract No. 80 and a 2.41-acre portion of Tract 4-06 of the W.W. Ford Survey, Abstract 80, City of Rockwall, Rockwall County, Texas, zoned Single-Family Estate 4.0 (SFE-4.0) District, addressed as 626 Cullins Road, and take any action necessary.

(5) **Z2023-035 (HENRY LEE)**

Hold a public hearing to discuss and consider a request by Renee Ward, PE of Weir & Associates, Inc. on behalf of Conor Keilty, AIA of Structured REA-Rockwall Land, LLC for the approval of a Specific Use Permit (SUP) amending Ordinance No. 22-52 [S-287] for a Golf Driving Range on an 7.955-acre tract of land being portions of a larger 18.131-acre tract of land and a 12.868-acre tract of land identified as Tract 22 & 22-2 of the R. Irvine Survey, Abstract No. 120, City of Rockwall, Rockwall County, Texas, zoned Commercial (C) District, situated within the IH-30 Overlay (IH-30 OV) District, generally located near the terminus of Fit Sport Life Boulevard, and take any action necessary.

(6) **Z2023-036 (BETHANY ROSS)**

Hold a public hearing to discuss and consider a request by Richard Expo on behalf of Ryszard Waszczuk for the approval of a Specific Use Permit (SUP) for a Carport that does not meet the minimum requirements on an 0.3492-acre parcel of land identified

as Lot 7, Block A, Solar Village Addition, City of Rockwall, Rockwall County, Texas, zoned Single-Family 7 (SF-7) District, addressed as 820 E. Heath Street, and take any action necessary.

(7) **Z2023-037 (ANGELICA GUEVARA)**

Hold a public hearing to discuss and consider a request by James and Mary Blocker for the approval of a Specific Use Permit (SUP) for an Accessory Building on a 0.1199-acre parcel of land identified as Lot 8, Block A, Newport Place Addition, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 19 (PD-19), addressed as 1796 Mystic Street, and take any action necessary.

(VI) **ACTION ITEMS**

These items are not advertised public hearings and deal with discretionary approvals for the Planning and Zoning Commission related to variances and special exceptions to the technical requirements of the Unified Development Code (UDC) or Chapter 38, Subdivisions, of the Municipal Code of Ordinances.

(8) **MIS2023-010 (HENRY LEE)**

Discuss and consider a request by Donald Steifler for the approval of a Miscellaneous Case for an Exception to the fence placement standards for 0.2392-acre parcel of land identified as Lot 16, Block D, Preserve, Phase 1 Addition, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 41 (PD-41) for Single-Family 10 (SF-10) District land uses, addressed as 404 Bedford Falls Lane, and take any action necessary.

(9) **SP2023-022 (BETHANY ROSS)**

Discuss and consider a request by Hind Saad of RSG Engineering on behalf of Roy Bhavi of FlexSpace Business Parks, LLC for the approval of a Site Plan for a warehouse/office development on a 6.17-acre tract of land identified as Tract 2-01 of the D. Harr. Survey, Abstract No. 102, City of Rockwall, Rockwall County, Texas, zoned Light Industrial (LI) District, situated within the Airport Overlay (AP OV) District, addressed as 1760 Airport Road, and take any action necessary.

(10) **SP2023-024 (HENRY LEE)**

Discuss and consider a request by David Lindsay of Tri-Tex Construction Inc. for the approval of a Site Plan for an office building on a 1.50-acre tract of land identified as Tract 8-3 of the J. D. McFarland Survey, Abstract No. 145, City of Rockwall, Rockwall County, Texas, zoned Heavy Commercial (HC) District, addressed as 955 Sids Road, and take any action necessary.

(VII) **DISCUSSION ITEMS**

(11) Director's Report of post City Council meeting outcomes for development cases (**RYAN MILLER**).

- P2023-022: Replat for Lots 8 & 9, Block A, Rockwall Market Center East Addition (**APPROVED**)
- Z2023-031: Specific Use Permit (SUP) for Residential Infill at 709 Forest Trace (**APPROVED; 1ST READING**)
- Z2023-032: Specific Use Permit (SUP) for an Existing New and Used Motor Vehicle Dealership at 1540 E. IH-30 (**APPROVED; 1ST READING**)

(VIII) **ADJOURNMENT**

The City of Rockwall Planning and Zoning Commission reserves the right to adjourn into executive session at any time to discuss any matters listed on the agenda above, as authorized by Texas Local Government Code §55.071 (Consultation with City Attorney) or any other exception allowed under Chapter 551 of the Texas Local Government Code.

This facility is wheelchair accessible and accessible parking spaces are available. Request for accommodations or interpretive services must be made 48 hours prior to this meeting. Please contact the City Secretary's Office at (972) 772-6406 for further information.

I, Melanie Zavala, Planning and Zoning Coordinator for the City of Rockwall, Texas, do hereby certify that this Agenda was posted at City Hall, in a place readily accessible to the general public at all times, on August 11, 2023 at 5:00 PM, and remained so posted for at least 72 continuous hours preceding the scheduled time of said meeting.

MINUTES

PLANNING AND ZONING COMMISSION WORK SESSION MEETING
CITY HALL, 385 SOUTH GOLIAD STREET, ROCKWALL, TEXAS
JULY 25, 2023 IN THE CITY COUNCIL CHAMBERS AT 6:00 PM

2 **NOTES:** [1] ADDITIONAL CASE INFORMATION CAN BE FOUND AT
3 [HTTPS://SITES.GOOGLE.COM/SITE/ROCKWALLPLANNING/DEVELOPMENT/DEVELOPMENT-CASES](https://sites.google.com/site/rockwallplanning/development/development-cases), AND [2] TO PROVIDE INPUT ON A ZONING OR
4 SPECIFIC USE PERMIT CASE PLEASE [CLICK HERE](#) OR CLICK ON THE LINK ABOVE AND USE THE ZONING AND SPECIFIC USE PERMIT INPUT
5 FORM ON THE CITY'S WEBSITE.
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I. CALL TO ORDER

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9 **Commissioner Welch called the meeting to order at 6:00 PM. Commissioners present were Ross Hustings, Kyle Thompson and Jean Conway. Absent from this meeting were Chairman Derek Deckard, Vice-Chairman John Womble and Commissioner Brian Llewelyn.**

II. APPOINTMENTS

13
14 1. Appointment with the Architectural Review Board (ARB) Chairman to receive the Architectural Review Board's recommendations and comments for items on
15 the agenda requiring architectural review.

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17 **A representative from the Architectural Review Board gave a brief explanation concerning the agenda items that were discussed at the architectural
18 review board meeting.**

III. OPEN FORUM

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22 *This is a time for anyone to address the Planning and Zoning Commission on any topic that is not already listed on the agenda for a public hearing. Per the
23 policies of the City of Rockwall, public comments are limited to three (3) minutes out of respect for the time of other citizens. On topics raised during the OPEN
24 FORUM, please know that the Planning and Zoning Commission is not permitted to respond to your comments during the meeting per the Texas Open Meetings
25 Act.*

26
27 **Commissioner Welch explained how the open forum is conducted and asked if anyone who wished to speak to come forward at this time; there
28 being no one indicating such, Commissioner Welch closed the open forum.**

IV. CONSENT AGENDA

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32 *These agenda items are administrative in nature or include cases that meet all of the technical requirements stipulated by the Unified Development Code (UDC)
33 and Chapter 38, Subdivisions, of the Municipal Code of Ordinances, and do not involve discretionary approvals.*

34
35 2. Approval of minutes for the June 27, 2023 Planning and Zoning Commission meeting.

3. P2023-022 (BETHANY ROSS)

36
37 Consider a request by Jeff Carroll of Carroll Architects on behalf of Eric Borkenhagen of Kohl's for the approve of a Replat for Lots 8 & 9, Block A, Rockwall
38 Market Center East Addition being a 7.383-acre parcel of land identified as Lot 7, Block A, Rockwall Market Center East Addition, City of Rockwall, Rockwall
39 County, Texas, zoned Commercial (C) District, situated within the IH-30 Overlay (IH-30 OV) District, addressed as 828 Rochell Court, and take any action
40 necessary.
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43 **Commissioner Conway made a motion to approve the Consent Agenda. Commissioner Hustings seconded the motion which passed by a vote of 4-
44 0.**

V. PUBLIC HEARING ITEMS

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48 *This is a time for anyone to speak concerning their issues with a public hearing case. If you would like to speak regarding an item listed in this section, please
49 submit a Request to Address the Planning and Zoning Commission (i.e. the yellow forms available at the podium or from staff). The Planning and Zoning
50 Commission Chairman will call upon you to come forward at the proper time or will ask if anyone in the audience would like to speak. Please limit all comments
51 to three (3) minutes out of respect for the time of other citizens.*

4. Z2023-031 (ANGELICA GUEVARA)

52
53 Hold a public hearing to discuss and consider a request by Manuel Tijerina for the approval of a Specific Use Permit (SUP) for Residential Infill in an Established
54 Subdivision for the purpose of constructing a single-family home on a 0.248-acre parcel of land identified as Lot 13, Block A, Highridge Estate Subdivision, City
55 of Rockwall, Rockwall County, Texas, zoned Single-Family 10 (SF-10) District, addressed as 709 Forest Trace, and take any action necessary.
56

57
58 **Planning Technician Angelica Guevara provided a brief summary in regards to the request. At the last meeting, the applicant agreed to table this
59 case so they could try to make changes from a two-story home to a one-story home. Since then they have indicated that it's not feasible for them to
60 make those changes and they want to keep the original plans of building a two-story home. The applicant is requesting approval for a Specific Use
61 Permit (SUP) for Residential Infill in an Established Subdivision. The Established Subdivision being the Highridge Estates, which has been in an
62 existence since 1972, consists of 99 residential lots and more then 90% developed. Staff would like to note that the proposed home meets all of the
63 density and dimensional requirements for the zoning district and that there are also two (2) other two-story homes on the first two lots of the same
64 street. Therefore, the proposed home would be similar to the surrounding area. However, approval of a Specific Use Permit (SUP) is a discretionary**

65 decision for the City Council pending a recommendation from the Planning and Zoning Commission. On June 22, 2023, staff mailed out 85 notices
66 to property owners and occupants within 500-feet of the subject property. At this time, staff had only received two (2) emails in opposition to the
67 applicant's request.

68
69 Commissioner Welch opened the public hearing and asked anyone who wished to speak to come forward at this time; there being no one indicating
70 such, Commissioner Welch closed the public hearing and brought the item back to the Commission for discussion or action.

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72 Commissioner Conway made a motion to approve Z2023-031. Commissioner Hustings seconded the motion which passed by a vote of 4-0.

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74 Commissioner Welch advised this item will go before City Council on August 7, 2023.

75
76 **5. Z2023-032 (BETHANY ROSS)**

77 Hold a public hearing to discuss and consider a request by Drew Donosky of Claymoore Engineering on behalf of Clay Cooley of 1540 East IH-30 Rockwall,
78 LLC for the approval of a Specific Use Permit (SUP) superseding Ordinance No. 22-02 [S-266] and allowing the expansion of an existing Motor Vehicle
79 Dealership (i.e. Clay Cooley Hyundai) being a 7.17-acre tract of land identified as Lot 2, Block 1, Rockwall Recreation Addition, City of Rockwall, Rockwall
80 County, Texas, zoned Light Industrial (LI) District, situated within the IH-30 Overlay (IH-30 OV) District, addressed as 1540 E. IH-30, and take any action
81 necessary.

82
83 Planner Bethany Ross provided a brief summary in regards to the request. The original building constructed in 1990 was a house of worship which
84 was remodeled back in 2013 after City Council approved a SUP allowing motor vehicle dealerships for cars and light trucks. Later, in 2012, a site
85 plan was also approved by City Council. In 2022, City Council approved a SUP allowing the expansion of the dealership to add a minor automotive
86 repair garage, a car wash, and outside storage. This then led to a site plan that was approved in 2022. The applicant recently approached staff about
87 increasing the size of the expansion and has submitted new concept plans and building elevations to amend the SUP. This included increasing the
88 automotive repair garage from three to eight bays, rotating the garage so that the garage bays face Commerce Street, and changing the repair garage
89 from minor to major automotive. This concept plan also shows the proposed transformer and fuel storage will be moved to the parking islands along
90 the south side of the property. In addition, the canopy structure to the west side of the main building will be increased by one bay. Staff recommended
91 that the applicant consider combining the two middle rows of parking. This then would allow the ability to place additional landscaping in an island
92 between the two parking isles to properly screen the bay doors and create an additional width of the bay doors drive isle. The applicant originally
93 did not provide these updates and was ultimately denied by Planning and Zoning on July 11th. The applicant requested to be remanded back to the
94 Planning and Zoning Commission to allow them time to incorporate staff comments. The remand was approved by City Council on July 17, 2023.
95 The applicant provided updated plans showing the requested updates as well as more screening for the major automotive repair garage. As
96 mentioned earlier, this was converted from a house of worship, therefore, many of the aspects of the building were legally non-conforming. The
97 applicant has provided an updated site plan, landscape plan, and building elevations to better conform to the requirements of the Unified
98 Development Code. Also, they provided compensatory measures for the variances requested such as cementitious materials, stone, four (4) sided
99 architecture, and the garage door orientation. The compensatory measures are architectural elements including canopies, variation of roof height,
100 projecting elements and stone actions, updated landscaping, increased shrub size, increased canopy size and increased accent tree size. The
101 upgraded landscaping and three-tiered screening will directly offset the variance to the garage door orientation and the upgraded architecture will
102 provide a closer conforming building than what was originally proposed. If the proposed case is approved, Planning and Zoning and City Council
103 will be granting the previously mentioned variances. With this being said, all aspects of the case are considered to be discretionary decisions for
104 City Council pending recommendations from the Planning and Zoning Commission. On June 22, 2023, staff mailed out 17 notices to property owners
105 and occupants within 500-feet of the subject property. As of now, staff has received two (2) notices in favor of the request.

106
107 Commissioner Welch asked how many variances there were?

108
109 Commissioner Welch opened the public hearing and asked anyone who wished to speak to come forward at this time.

110
111 Zack Amick
112 1957 Stevens Road
113 Rockwall, TX 75087

114
115 Mr. Amick came forward and provided additional details in regards to the request.

116
117 Commissioner Welch asked if anyone else wished to speak; there being no one indicating such, Commissioner Welch closed public hearing and
118 brought the item back to the Commission for discussion or action.

119
120 Commissioner Thompson made a motion to approve Z2023-032. Commissioner Conway seconded the motion which passed by a vote of 4-0.

121
122 Commissioner Welch advised this item will go before City Council on August 7, 2023.

123
124 VI. ACTION ITEMS

125
126 *These items are not advertised public hearings and deal with discretionary approvals for the Planning and Zoning Commission related to variances and special*
127 *exceptions to the technical requirements of the Unified Development Code (UDC) or Chapter 38, Subdivisions, of the Municipal Code of Ordinances.*

128
129 **6. MIS2023-009 (HENRY LEE)**

130 Discuss and consider a request by Blair Selden on behalf of Robert Stark for the approval of a Miscellaneous Case for an Exception to the fence material
131 requirements on a 0.47-acre tract of land identified as a portion of Lots 4-7 and Lots 10-13, Block 1 & 2, Mill Co. Addition, City of Rockwall, Rockwall County,
132 Texas, zoned Commercial (C) District, addressed as 607 St. Mary Street, and take any action necessary.

133
134 Planner Henry Lee provided a brief summary in regards to the request. Staff was notified by Neighborhood Improvement Services (NIS) about a
135 complaint concerning outside storage being done on the property. Neighborhood Improvement Services checked the property and found outside
136 storage as well as a wood fence that was built without a permit. Staff should note that the wood fencing used on the fence is not permitted in a
137 Commercial (C) District. Planner Lee advised that it appeared the fence was put in place to screen the outside storage. The NIS department informed
138 them that the outside storage would need to be removed and they could either remove the fence or apply for a special exception to allow it to remain
139 or replace with a different type of fence. Therefore, the applicants are requesting approval of an exception to the fencing material requirements to
140 allow the wood fence to remain. In addition, they are also requesting to add an opaque metal gate.

141
142 Jared Wickard
143 4607 County Road 2648
144 Royse City, TX 75189

145
146 Mr. Wickard came forward and provided additional details in regards to the request.

147
148 After some discussion, Commissioner Conway made a motion to deny MIS2023-009. Commissioner Hustings seconded the motion to deny which
149 passed by a vote 4-0.

150
151 7. SP2023-023 (HENRY LEE)

152 Discuss and consider a request by Frank A. Polma, PE of R-Delta Engineers, Inc. on behalf of Stephen Geiger of Rayburn Country Electric Cooperative for the
153 approval of an Amended Site Plan for an Industrial Campus on a 99.849-acre tract of land identified as Lots 6, 7, 8 & 9, Block A, Rayburn Country Addition and
154 Tract 3 of the W. H. Barnes Survey, Abstract No. 26, City of Rockwall, Rockwall County, Texas, zoned Heavy Commercial (HC) District, situated within the SH-
155 205 Overlay (SH-205 OV) District, addressed as 950 & 980 Sids Road, and take any action necessary.

156
157 Planner Henry Lee provided a brief summary in regards to the request. Late last year, the applicant came forward and got a site plan approved by
158 the Planning and Zoning Commission for three (3) additional buildings on the property. The front building, Building D, along Sids Road had numerous
159 variances and exceptions on this project. One of their compensatory measures were increased architectural elements on the building. However,
160 when reaching the Building Permit process, the architectural element had been removed and they were told to go back and get an amended site
161 plan.

162
163 Frank Polma
164 618 Main Street
165 Garland, TX 75040

166
167 Mr. Polma came forward and provided additional details in regards to the request.

168
169 Commissioner Welch asked if there were compensatory measures.

170
171 Commissioner Hustings made a motion to approve SP2023-023 with staff recommendations. Commissioner Conway seconded the motion which
172 passed by a vote of 4-0.

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174 VII. DISCUSSION ITEMS

175
176 *These items are for discussion between staff and the Planning and Zoning Commission and relate to administrative information and/or cases that will come*
177 *forward for action or public hearing at a future Planning and Zoning Commission meeting. Public comment on these cases can take place when these items*
178 *are considered for action by the Planning and Zoning Commission. The anticipated Planning and Zoning Commission public hearing and/or action date for the*
179 *following cases is August 15, 2023.*

180
181 8. Z2023-033 (ANGELICA GUEVARA)

182 Hold a public hearing to discuss and consider a request by Dennis and Melissa Cain for the approval of a Specific Use Permit (SUP) for Residential Infill Adjacent
183 to an Established Subdivision for the purpose of allowing the construction of a single-family home on a 12.00-acre tract of land identified as Tracts 8-01 & 8-02
184 of the W. T. DeWeese Survey, Abstract No. 71, City of Rockwall, Rockwall County, Texas, zoned Agricultural (AG) District, addressed as 803 Dalton Road, and
185 take any action necessary.

186
187 Planning Technician Angelica Guevara provided a brief summary in regards to the request. The proposed home at 803 Dalton Road meets all of the
188 density and dimensional requirements with the exception of a couple of roof pitches that need to be corrected.

189
190 Commissioner Welch advised this item will come back before the Commission on August 15, 2023 for discussion or action.

191
192 9. Z2023-034 (BETHANY ROSS)

193 Hold a public hearing to discuss and consider a request by Dakota, Claire, Austen, and Sara Brewer for the approval of a Zoning Change from a Single-Family
194 Estate 4.0 (SFE-4.0) District to a Single-Family 1.5 (SFE-1.5) District for a 5.24-acre tract of land identified as a Tract 4-2 of the W. W. Ford Survey, Abstract
195 No. 80 and a 2.41-acre portion of Tract 4-06 of the W.W. Ford Survey, Abstract 80, City of Rockwall, Rockwall County, Texas, zoned Single-Family Estate 4.0
196 (SFE-4.0) District, addressed as 626 Cullins Road, and take any action necessary.

197
198 Planner Bethany Ross provided a brief summary in regards to the request. The original owners are wanting to combine the two (2) lots and rezone
199 the lot from AG to SFE-4.0. However, the current applicant has decided to divide the two (2) lots into three (3) lots and rezone the property to SFE-
200 1.5. Before doing so, the applicant needed to request a variance to allow an increase in the lot depth from 250-feet to 208-feet. This variance was

201 approved by the Board of Adjustments on July 13, 2023. The intended outcome for this applicant is to build two (2) houses on the proposed vacant
202 lots.

203
204 Commissioner Welch advised this item will come back before the Commission on August 15, 2023 for discussion or action.
205

206 10. Z2023-035 (HENRY LEE)

207 Hold a public hearing to discuss and consider a request by Renee Ward, PE of Weir & Associates, Inc. on behalf of Conor Keilty, AIA of Structured REA-
208 Rockwall Land, LLC for the approval of a *Specific Use Permit (SUP)* amending *Ordinance No. 22-52 [S-287]* for a *Golf Driving Range* on an 7.955-acre tract
209 of land being portions of a larger 18.131-acre tract of land and a 12.868-acre tract of land identified as Tract 22 & 22-2 of the R. Irvine Survey, Abstract No.
210 120, City of Rockwall, Rockwall County, Texas, zoned Commercial (C) District, situated within the IH-30 Overlay (IH-30 OV) District, generally located near
211 the terminus of Fit Sport Life Boulevard, and take any action necessary.

212
213 Planner Henry Lee provided a brief summary in regards to the request. The applicant is coming forward to amend their SUP that was approved last
214 year. However, they have changes to their site design so they are needing to update their concept plan. The applicants have also added an outdoor
215 commercial use as well to the concept plan.
216

217 Renee Ward
218 2201 E. Lamar Boulevard
219 Arlington, TX 76006
220

221 Mrs. Ward came forward and provided additional details in regard to the request.
222

223 Commissioner Welch advised this item will come back before the Commission on August 15, 2023 for discussion or action.
224

225 11. Z2023-036 (BETHANY ROSS)

226 Hold a public hearing to discuss and consider a request by Richard Expo on behalf of Ryszard Waszczuk for the approval of a *Specific Use Permit (SUP)* for
227 a *Carport* that does not meet the minimum requirements on an 0.3492-acre parcel of land identified as Lot 7, Block A, Solar Village Addition, City of Rockwall,
228 Rockwall County, Texas, zoned Single-Family 7 (SF-7) District, addressed as 820 E. Heath Street, and take any action necessary.
229

230 Planner Bethany Ross provided a brief summary in regards to the request. The applicant is requesting approval of a SUP for a carport that does not
231 meet the minimum setback of 20-feet behind the front facade. The proposed carport is also 124 SF larger than what is allowed in a Single-Family 7
232 (SF-7) District.
233

234 Commissioner Welch advised this item will come back before the Commission on August 15, 2023 for discussion or action.
235

236 12. Z2023-037 (ANGELICA GUEVARA)

237 Hold a public hearing to discuss and consider a request by James and Mary Blocker for the approval of a *Specific Use Permit (SUP)* for an *Accessory Building*
238 on a 0.1199-acre parcel of land identified as Lot 8, Block A, Newport Place Addition, City of Rockwall, Rockwall County, Texas, zoned Planned Development
239 District 19 (PD-19), addressed as 1796 Mystic Street, and take any action necessary.
240

241 Planning Technician Angelica Guevara advised that her applicant was present.
242

243 Mary Blocker
244 1796 Mystic Street
245 Rockwall, TX 75032
246

247 Mrs. Blocker came forward and provided additional details in regards to the request.
248

249 Director of Planning and Zoning Ryan Miller advised that the proposed accessory structure meets all the setback requirements for the district. The
250 subject property is a zero lot-line property that will only allow a 10' x 10' accessory structure as opposed to what is normally permitted which is a
251 12' x 12' accessory structure.
252

253 Commissioner Welch advised this item will come back before the Commission on August 15, 2023 for discussion or action.
254

255 13. SP2023-022 (BETHANY ROSS)

256 Discuss and consider a request by Hind Saad of RSG Engineering on behalf of Roy Bhavi of FlexSpace Business Parks, LLC for the approval of a *Site Plan*
257 for a *warehouse/office* development on a 6.17-acre tract of land identified as Tract 2-01 of the D. Harr. Survey, Abstract No. 102, City of Rockwall, Rockwall
258 County, Texas, zoned Light Industrial (LI) District, situated within the Airport Overlay (AP OV) District, addressed as 1760 Airport Road, and take any action
259 necessary.
260

261 Planner Bethany Ross provided a brief summary in regards to the request. Staff is currently working thru comments with the applicant but has
262 identified three (3) exceptions that are typical of Light Industrial (LI) buildings. These exceptions include 20% stone, exception to the 90% masonry,
263 exception to the parapets, and an exception for the screening of the loading docks for Buildings 6 and 7. This exception is being requested due to
264 the inability to place screening plans within the Airport Overlay zone.
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266 Jeff Carroll
267 750 E. Interstate 30
268 Rockwall, TX 75032

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Mr. Carroll came forward and provided additional details in regards to the request.

Director of Planning and Zoning Ryan Miller went over the concerns expressed by the Architectural Review Board.

Commissioner Welch advised this item will come back before the Commission on August 15, 2023 for discussion or action.

14. **SP2023-024 (HENRY LEE)**

Discuss and consider a request by David Lindsay of Tri-Tex Construction Inc. for the approval of a Site Plan for an *office building* on a 1.50-acre tract of land identified as Tract 8-3 of the J. D. McFarland Survey, Abstract No. 145, City of Rockwall, Rockwall County, Texas, zoned Heavy Commercial (HC) District, addressed as 955 Sids Road, and take any action necessary.

Planner Henry Lee provided a brief summary in regards to the request. The applicant is requesting a site plan for an office building at 955 Sids Road. The ARB looked at the elevations for this project and were looking for the stone wainscot to wrap around the sides. He explained that staff has only identified variances for articulation in terms of the wall length and staff is still working thru comments with the applicant.

David Lindsey
1105 Amber Way
Rockwall TX, 75087

Mr. Lindsey came forward can provided additional details in regards to the request.

Commissioner Welch advised this item will come back before the Commission on August 15, 2023 for discussion or action.

15. Director's Report of post City Council meeting outcomes for development cases (RYAN MILLER).

- P2023-015: Final Plat for Lot 1, Block A, Rochell Elementary School Addition (APPROVED)
- P2023-016: Master Plat for the Peachtree Meadows Subdivision (APPROVED)
- P2023-017: Preliminary Plat for the Peachtree Meadows Subdivision (APPROVED)
- P2023-018: Final Plat for Lots 1-3, Block A, REC Campus Addition (APPROVED)
- P2023-019: Replat for Phase 2 of the Somerset Pak Subdivision (APPROVED)
- P2023-020: Replat for Lot 22, Block A, Rainbo Acres Addition (APPROVED)
- MIS2023-008: Special Exception for 327 Nicole Drive (DENIED)
- Z2023-024: Specific Use Permit (SUP) for *Residential Infill in an Established Subdivision* for 311 Valiant Drive (1ST READING; DENIED)
- Z2023-025: Specific Use Permit (SUP) for an *Accessory Building* at 3065 Winecup Lane (2ND READING; APPROVED)
- Z2023-026: Zoning Change from Agricultural (AG) District to a Single-Family 16 (SF-16) District for 2065 Airport Road (APPROVED; 2ND READING)
- Z2023-027: Specific Use Permit (SUP) for a *Residential Infill in an Established Subdivision* for 110 Mischief Lane (APPROVED; 2ND READING)
- Z2023-028: Specific Use Permit (SUP) for a *Residential Infill in an Established Subdivision* at 481 Blanche Drive (APPROVED; 2ND READING)
- Z2023-029: Zoning Amendment to Planned Development District 8 (PD-8) (APPROVED; 1ST READING)
- Z2023-030: Zoning Change from Agricultural (AG) District to a Light Industrial (LI) District for 1780 Airport Road (APPROVED; 2ND READING)
- Z2023-031: Specific Use Permit (SUP) for a *Residential Infill in an Established Subdivision* at 709 Forest Trace (NEW PUBLIC HEARING DATE ANNOUNCED)
- Z2023-032: Specific Use Permit (SUP) for the expansion of an *Existing Motor Vehicle Dealership* at 1540 E. IH-30 (REMANDED BACK TO THE PLANNING AND ZONING COMMISSION)

VIII.ADJOURNMENT

Commissioner Welch adjourned the meeting at 7:16 PM.

PASSED AND APPROVED BY THE PLANNING & ZONING COMMISSION OF THE CITY OF ROCKWALL, Texas, this _____ day of _____, 2023.

Derek Deckard, Chairman

Attest:

Melanie Zavala, Planning Coordinator



CITY OF ROCKWALL

PLANNING AND ZONING COMMISSION CASE MEMO

PLANNING AND ZONING DEPARTMENT

385 S. GOLIAD STREET • ROCKWALL, TX 75087

PHONE: (972) 771-7745 • EMAIL: PLANNING@ROCKWALL.COM

TO: Planning and Zoning Commission

DATE: August 15, 2023

APPLICANT: Dennis and Melissa Cain

CASE NUMBER: Z2023-033; *Specific Use Permit (SUP) for a Residential Infill Adjacent to an Established Subdivision at 803 Dalton Road*

SUMMARY

Hold a public hearing to discuss and consider a request by Dennis and Melissa Cain for the approval of a Specific Use Permit (SUP) for *Residential Infill Adjacent to an Established Subdivision* for the purpose of allowing the construction of a single-family home on a 12.00-acre tract of land identified as Tracts 8-01 & 8-02 of the W. T. DeWeese Survey, Abstract No. 71, City of Rockwall, Rockwall County, Texas, zoned Agricultural (AG) District, addressed as 803 Dalton Road, and take any action necessary.

BACKGROUND

The subject property was annexed into the City of Rockwall on November 7, 1983 by *Ordinance No. 83-57 [Case No. A1983-002]*. According to the December 7, 1993 *Historic Zoning Maps*, the subject property was zoned Agricultural (AG) District and has remained zoned Agricultural (AG) District since annexation. According to the Rockwall Central Appraisal District (RCAD), there is currently a 6,750 SF single-family home situated on a one (1) acre portion of the subject property (*i.e. Tract 8-01 of the W. T. DeWeese Survey, Abstract No. 71*). RCAD goes on to identify the following structures as being situated on the remainder of the subject property (*i.e. Tract 8-02 of the W. T. DeWeese Survey, Abstract No. 71*): [1] a 750 SF metal residence, [2] two (2) storage units (*i.e. an 800 SF & a 504 SF*), [3] a 750 SF shop, and [4] a 594 SF detached carport.

PURPOSE

The applicants -- *Dennis and Melissa Cain* -- are requesting the approval of a Specific Use Permit (SUP) for the purpose of constructing a single-family home on the subject property in accordance with Subsection 02.03(B)(11), *Residential Infill in or Adjacent to an Established Subdivision*, of Article 04, *Permissible Uses*, of the Unified Development Code (UDC).

ADJACENT LAND USES AND ACCESS

The subject property is located at 803 Dalton Road. The land uses adjacent to the subject property are as follows:

North: Directly north of the subject property is Dalton Road, which is identified as a M4U (*i.e. major collector, four [4] lane, undivided roadway*) on the Master Thoroughfare Plan contained in the OURHometown 2040 Comprehensive Plan. Beyond this is Nebbie Williams Elementary School (*i.e. Lot 1, Block A, Rockwall School North Addition*) and Phase 1 of the Harlan Park Subdivision. This phase of the Harlan Park Subdivision consists of 65 residential lots on 2.34-acres, and has been in existence since March 20, 1985. All of these properties are zoned Single-Family 10 (SF-10) District.

South: Directly south of the subject property are three (3) parcels of land (*i.e. 3059, 3065 & 3069 S. Goliad Street*) developed with single-family homes. All of these properties are zoned Single-Family 16 (SF-16) District. Beyond this are three (3) parcels of land (*i.e. 3051, 3053, & 3055 N. Goliad Street*) developed with single-family homes. These properties are zoned Agricultural (AG) District. South of this is Phase 2 of the Creekside Village Subdivision which consists of 66 residential lots on 17.18-acres of land, and is zoned Planned Development District 3 (PD-3).

Beyond this is Ridge Road West, which is identified as an *Minor Collector* on the Master Thoroughfare Plan contained in the OURHometown 2040 Comprehensive Plan.

East: Directly east of the subject property are two (2) parcels of land (*i.e. 315 & 335 Dalton Road*) that make up the Free Methodist Church of North America Subdivision, and are zoned Single-family 16 (SF-16) District. There are also three (3) parcels of land that make up the Dirkwood Estates Subdivision that are zoned Planned Development District 37 (PD-37). East of this is N. Goliad Street (*SH-205*), which is identified as an A4D (*i.e. arterial, four [4] lane, divided roadway*) on the Master Thoroughfare Plan contained in the OURHometown 2040 Comprehensive Plan. Beyond this is the Stone Creek Retail Subdivision that consists of six (6) lots that are zoned Planned Development District 70 (PD-70) for General Retail (GR) District land uses.

West: Directly west of the subject property are nine (9) parcels of land (*i.e. 2710, 2720, 2730, 2740, 2750, 2760, 2770, 2780, & 2800 Fern Valley Drive*) developed with single-family homes. West of these are Fern Valley Lane, Grandview Drive, and Eganridge Lane, which are all identified as an R2 (*i.e. residential, two (2) lane, undivided roadway*) on the Master Thoroughfare Plan contained in the OURHometown 2040 Comprehensive Plan. Beyond this are several other parcels of land developed with single-family homes. All of these properties are in Phase 6 of the Shores North Subdivision, and are zoned Planned Development District 3 (PD-3). Beyond this is Shores Boulevard, which is identified as an *Minor Collector* on the Master Thoroughfare Plan contained in the OURHometown 2040 Comprehensive Plan.

CHARACTERISTICS OF THE REQUEST AND CONFORMANCE TO THE CITY’S CODES

Article 13, *Definitions*, of the Unified Development Code (UDC) defines *Residential Infill in or Adjacent to an Established Subdivision* as “(t)he new development of a single-family home or duplex on an existing vacant or undeveloped parcel of land or the redevelopment of a developed parcel of land for a new single-family home or duplex within an established subdivision that is mostly or entirely built-out.” An *established subdivision* is further defined in Subsection 02.03(B)(11) of Article 04, *Permissible Uses*, of the UDC as “...a subdivision that consists of five (5) or more lots, that is 90% developed, and that has been in existence for more than ten (10) years.” The code goes on to say “(a)ll proposed residential infill housing that is located within an Established Subdivision or a lot or tract of land that is located within 500-feet of an Established Subdivision shall be required to apply for a Specific Use Permit.” In this case, the subject property shares a common boundary (*i.e. the western property line*) with Phase 6 of the Shores North Subdivision, which has been in existence since January 30, 2022, consists of 70 single-family residential lots, and is 100.00% developed. The *Permissible Use Charts* contained in Article 04, *Permissible Uses*, of the UDC, requires a Specific Use Permit (SUP) for *Residential Infill in or Adjacent to an Established Subdivision* in all single-family zoning districts, the Two-Family (2F) District, the Downtown (DT) District, and the Residential-Office (RO) District. The Agricultural (AG) District is considered to be a single-family zoning district per Article 05, *District Development Standards*, of the Unified Development Code (UDC). This property, being adjacent to an *Established Subdivision*, requires a Specific Use Permit (SUP).

In addition, Subsection 02.03(B)(11) of Article 04, *Permissible Uses*, of the UDC states that, “...the Planning and Zoning Commission and City Council shall consider the proposed size, location, and architecture of the home compared to the existing housing ... [and] (a)ll housing proposed under this section [*i.e. Residential Infill in or Adjacent to an Established Subdivision*] shall be constructed to be architecturally and visually similar or complimentary to the existing housing ...” With this being said, there are four (4) properties that face onto Dalton Road and N. Goliad Street that are in close proximity to the home. These existing homes and the proposed home are single-family estate style (*i.e. larger home on a larger lot*) as opposed to the more traditional style homes in Phase 6 of the Shores Subdivision. Based on this, staff has only provided the following summary of observations concerning the house on Dalton Road as proposed by the applicant:

HOUSING DESIGN AND CHARACTERISTICS	PROPOSED HOUSING
BUILDING HEIGHT	TWO (2) STORY
BUILDING ORIENTATION	THE FRONT ELEVATION OF THE HOME WILL FACE ONTO DALTON ROAD.
YEAR BUILT	N/A
BUILDING SF ON PROPERTY	9,436 SF
BUILDING ARCHITECTURE	COMPARABLE ARCHITECTURE TO THE EXISTING HOMES
BUILDING SETBACKS	
FRONT	40-FEET
SIDE	10-FEET
REAR	6-FEET

Staff should note that the proposed single-family home meets all of the density and dimensional requirements for a home in an Agricultural (AG) District as stipulated by the Unified Development Code (UDC). For the purpose of comparing the proposed home to the existing single-family housing located adjacent to or in the vicinity of the *subject property*, staff has provided photos of the properties along Dalton Road, Fern Valley Lane, and N. Goliad Street and the proposed building elevations in the attached packet. The approval of this request is a discretionary decision to the Planning and Zoning Commission and City Council pending a finding that the proposed house will not have a negative impact on the adjacent subdivision.

In addition, the applicant is proposing a *Guest Quarters/Secondary Living Unit/Accessory Dwelling Unit* on the subject property. The applicant's request of *separate sanitary facilities* and *separate entrances* in the *Guest Quarters* account for two (2) elements of a *Dwelling Unit* as stated in Article 13, *Definitions*, of the Unified Development Code (UDC); however, no kitchen facilities are being provided, which means this is *not* considered a standalone living unit. According to the *Permissible Use Charts* contained in Article 04, *Permissible Uses*, of the Unified Development Code (UDC) a *Guest Quarters/Secondary Living Unit/Accessory Dwelling Unit* is permitted as an *Accessory Use* in an Agricultural (AG) District but -- according to *Subsection 02.03* -- is subject to the following *Conditional Land Use Standards*: [1] the structure must be ancillary to a single-family home, [2] the square footage of the structure shall not exceed 30.00% of the square footage of the primary structure, and [3] the structure may not be sold or conveyed separately from the single-family home without meeting the zoning requirements for the district. As stated above, *Guest Quarters/Secondary Living Unit* are permitted to be 30.00% of the square footage of the primary structure. In this case, the applicant is permitted *by-right* a 2,830 SF *Guest Quarters/Secondary Living Unit* (i.e. $9,436 \text{ SF} \times 30.00\% = 2,830 \text{ SF}$). With that being said, the applicant is only requesting an 862 SF *Guest Quarters/Secondary Living Unit*, which represents 9.14% of the primary structure. This is approximately 20% less than what is allowed *by-right*.

If the applicant's Specific Use Permit (SUP) is approved, staff has included operational conditions in the Specific Use Permit (SUP) ordinance that tie down the size, height, and general architecture of the proposed structures. With this being said, the approval of a Specific Use Permit (SUP) request is a discretionary decision for the City Council pending a recommendation from the Planning and Zoning Commission.

NOTIFICATIONS

On July 21, 2023, staff mailed 92 notices to property owners and occupants within 500-feet of the subject property. Staff also sent a notice to the Harlan Park, Stone Creek, Promenade Harbor and The Shores on Lake Ray Hubbard Homeowner's Associations (HOAs), which are the only HOA's or Neighborhood Organizations within 1,500-feet of the subject property participating in the Neighborhood Notification Program. Additionally, staff posted a sign on the subject property, and advertised the public hearings in the Rockwall Herald Banner as required by the Unified Development Code (UDC). At the time this report was drafted, staff had received one (1) notice in favor and one (1) notice in opposition to the applicant's request.

CONDITIONS OF APPROVAL

If the Planning and Zoning Commission chooses to recommend approval of the applicant's request for a Specific Use Permit (SUP) to construct a single-family home as a *Residential Infill Adjacent to an Established Subdivision* and a *Guest Quarters/Secondary Living Unit*, then staff would propose the following conditions of approval:

- (1) The applicant shall be responsible for maintaining compliance with the operational conditions contained in the Specific Use Permit (SUP) ordinance and which are detailed as follows:
 - (a) Development of the *Subject Property* shall generally conform to the *Residential Plot Plan* as depicted in *Exhibit 'B'* of the draft ordinance.
 - (b) Construction of a *Single-Family home* and *Guest Quarters/Secondary Living Unit* on the *Subject Property* shall generally conform to the *Building Elevations* depicted in *Exhibit 'C'* of the draft ordinance;
 - (c) The *Guest Quarters/Secondary Living Unit* shall not exceed a maximum size of 2,830 SF.

- (d) The *Guest Quarters/Secondary Living Unit* shall not have full kitchen facilities.
 - (e) The maximum height of the *Guest Quarters/Secondary Living Unit* shall not exceed one-story in height.
- (2) Any construction resulting from the approval of this zoning change shall conform to the requirements set forth by the Unified Development Code (UDC), the International Building Code (IBC), the Rockwall Municipal Code of Ordinances, city adopted engineering and fire codes and with all other applicable regulatory requirements administered and/or enforced by the state and federal government.



DEVELOPMENT APPLICATION

City of Rockwall
Planning and Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087

STAFF USE ONLY

PLANNING & ZONING CASE NO. _____

NOTE: THE APPLICATION IS NOT CONSIDERED ACCEPTED BY THE CITY UNTIL THE PLANNING DIRECTOR AND CITY ENGINEER HAVE SIGNED BELOW.

DIRECTOR OF PLANNING: _____

CITY ENGINEER: _____

PLEASE CHECK THE APPROPRIATE BOX BELOW TO INDICATE THE TYPE OF DEVELOPMENT REQUEST [SELECT ONLY ONE BOX]:

PLATTING APPLICATION FEES:

- MASTER PLAT (\$100.00 + \$15.00 ACRE) ¹
- PRELIMINARY PLAT (\$200.00 + \$15.00 ACRE) ¹
- FINAL PLAT (\$300.00 + \$20.00 ACRE) ¹
- REPLAT (\$300.00 + \$20.00 ACRE) ¹
- AMENDING OR MINOR PLAT (\$150.00)
- PLAT REINSTATEMENT REQUEST (\$100.00)

SITE PLAN APPLICATION FEES:

- SITE PLAN (\$250.00 + \$20.00 ACRE) ¹
- AMENDED SITE PLAN/ELEVATIONS/LANDSCAPING PLAN (\$100.00)

ZONING APPLICATION FEES:

- ZONING CHANGE (\$200.00 + \$15.00 ACRE) ¹
- SPECIFIC USE PERMIT (\$200.00 + \$15.00 ACRE) ^{1&2}
- PD DEVELOPMENT PLANS (\$200.00 + \$15.00 ACRE) ¹

OTHER APPLICATION FEES:

- TREE REMOVAL (\$75.00)
- VARIANCE REQUEST/SPECIAL EXCEPTIONS (\$100.00) ²

NOTES:

¹: IN DETERMINING THE FEE, PLEASE USE THE EXACT ACREAGE WHEN MULTIPLYING BY THE PER ACRE AMOUNT. FOR REQUESTS ON LESS THAN ONE ACRE, ROUND UP TO ONE (1) ACRE.
²: A **\$1,000.00** FEE WILL BE ADDED TO THE APPLICATION FEE FOR ANY REQUEST THAT INVOLVES CONSTRUCTION WITHOUT OR NOT IN COMPLIANCE TO AN APPROVED BUILDING PERMIT.

PROPERTY INFORMATION [PLEASE PRINT]

ADDRESS	803 Dalton RD Rockwall TX		
SUBDIVISION	A0071 W T DEWEESE	LOT	Tract 8-01 BLOCK
GENERAL LOCATION	803 Dalton RD Rockwall TX		

ZONING, SITE PLAN AND PLATTING INFORMATION [PLEASE PRINT]

CURRENT ZONING	AG	CURRENT USE	Undeveloped property	
PROPOSED ZONING	AG	PROPOSED USE	SFD	
ACREAGE	12	LOTS [CURRENT]	1	LOTS [PROPOSED] 1

SITE PLANS AND PLATS: BY CHECKING THIS BOX YOU ACKNOWLEDGE THAT DUE TO THE PASSAGE OF HB3167 THE CITY NO LONGER HAS FLEXIBILITY WITH REGARD TO ITS APPROVAL PROCESS, AND FAILURE TO ADDRESS ANY OF STAFF'S COMMENTS BY THE DATE PROVIDED ON THE DEVELOPMENT CALENDAR WILL RESULT IN THE DENIAL OF YOUR CASE.

OWNER/APPLICANT/AGENT INFORMATION [PLEASE PRINT/CHECK THE PRIMARY CONTACT/ORIGINAL SIGNATURES ARE REQUIRED]

<input checked="" type="checkbox"/> OWNER	Dennis Cain Melissa Cain	<input type="checkbox"/> APPLICANT	
CONTACT PERSON	Dennis Cain	CONTACT PERSON	
ADDRESS	1150 Crestcove DR	ADDRESS	
CITY, STATE & ZIP	Rockwall TX, 75087	CITY, STATE & ZIP	
PHONE	972-529-8405	PHONE	
E-MAIL	raisincain5@charter.net	E-MAIL	

NOTARY VERIFICATION [REQUIRED]

BEFORE ME, THE UNDERSIGNED AUTHORITY, ON THIS DAY PERSONALLY APPEARED Dennis Cain & Melissa Cain [OWNER] THE UNDERSIGNED, WHO STATED THE INFORMATION ON THIS APPLICATION TO BE TRUE AND CERTIFIED THE FOLLOWING:

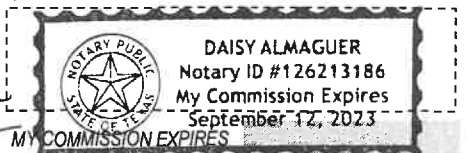
"I HEREBY CERTIFY THAT I AM THE OWNER FOR THE PURPOSE OF THIS APPLICATION; ALL INFORMATION SUBMITTED HEREIN IS TRUE AND CORRECT; AND THE APPLICATION FEE OF \$ 380.00 TO COVER THE COST OF THIS APPLICATION, HAS BEEN PAID TO THE CITY OF ROCKWALL ON THIS THE 29th DAY OF June, 2023. BY SIGNING THIS APPLICATION, I AGREE THAT THE CITY OF ROCKWALL (I.E. "CITY") IS AUTHORIZED AND PERMITTED TO PROVIDE INFORMATION CONTAINED WITHIN THIS APPLICATION TO THE PUBLIC. THE CITY IS ALSO AUTHORIZED AND PERMITTED TO REPRODUCE ANY COPYRIGHTED INFORMATION SUBMITTED IN CONJUNCTION WITH THIS APPLICATION, IF SUCH REPRODUCTION IS ASSOCIATED OR IN RESPONSE TO A REQUEST FOR PUBLIC INFORMATION."

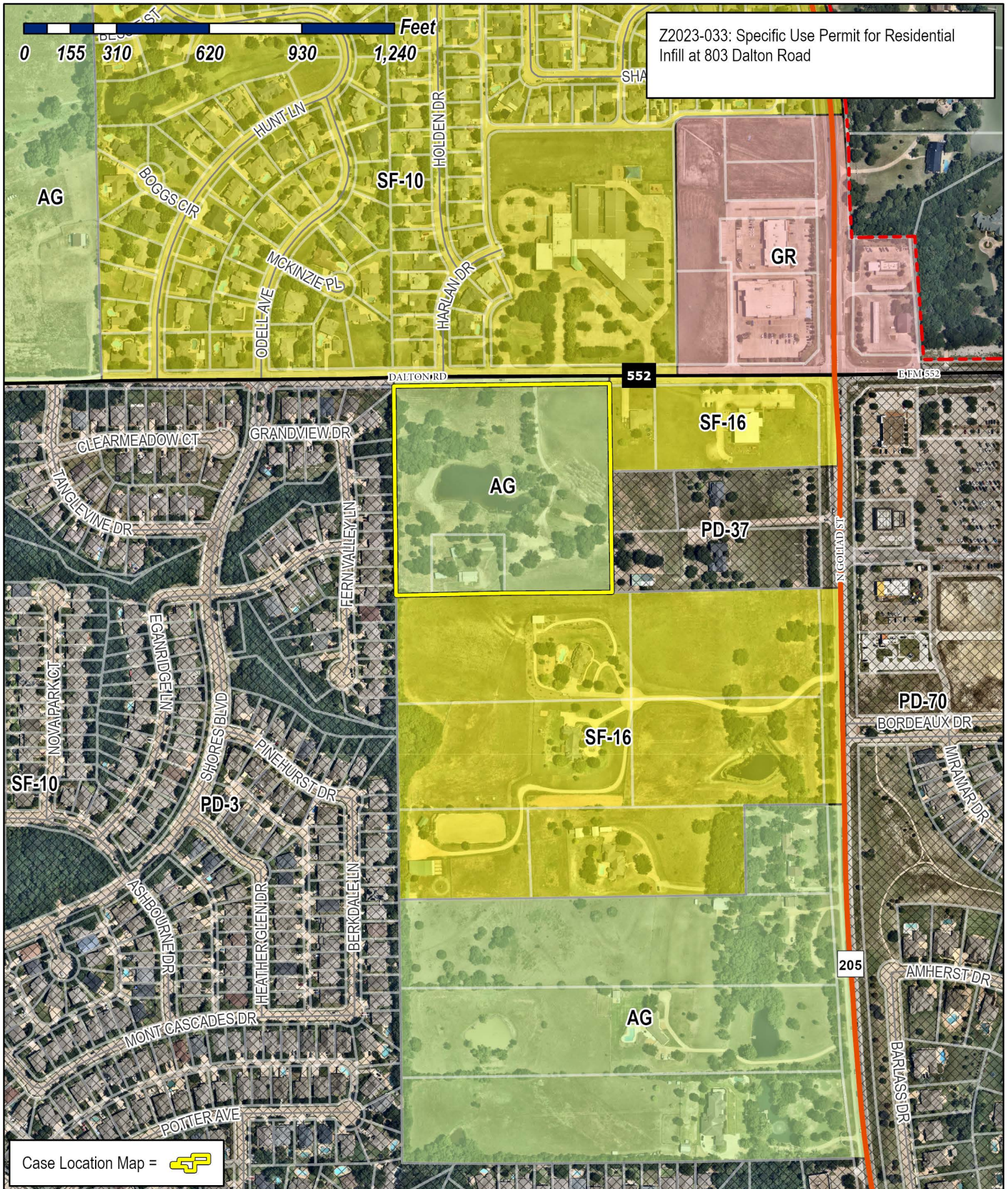
GIVEN UNDER MY HAND AND SEAL OF OFFICE ON THIS THE 29th DAY OF June, 2023.

OWNER'S SIGNATURE

Dennis Cain
Melissa Cain
NOTARY

NOTARY PUBLIC IN AND FOR THE STATE OF TEXAS





City of Rockwall

Planning & Zoning Department
 385 S. Goliad Street
 Rockwall, Texas 75087
 (P): (972) 771-7745
 (W): www.rockwall.com

The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.

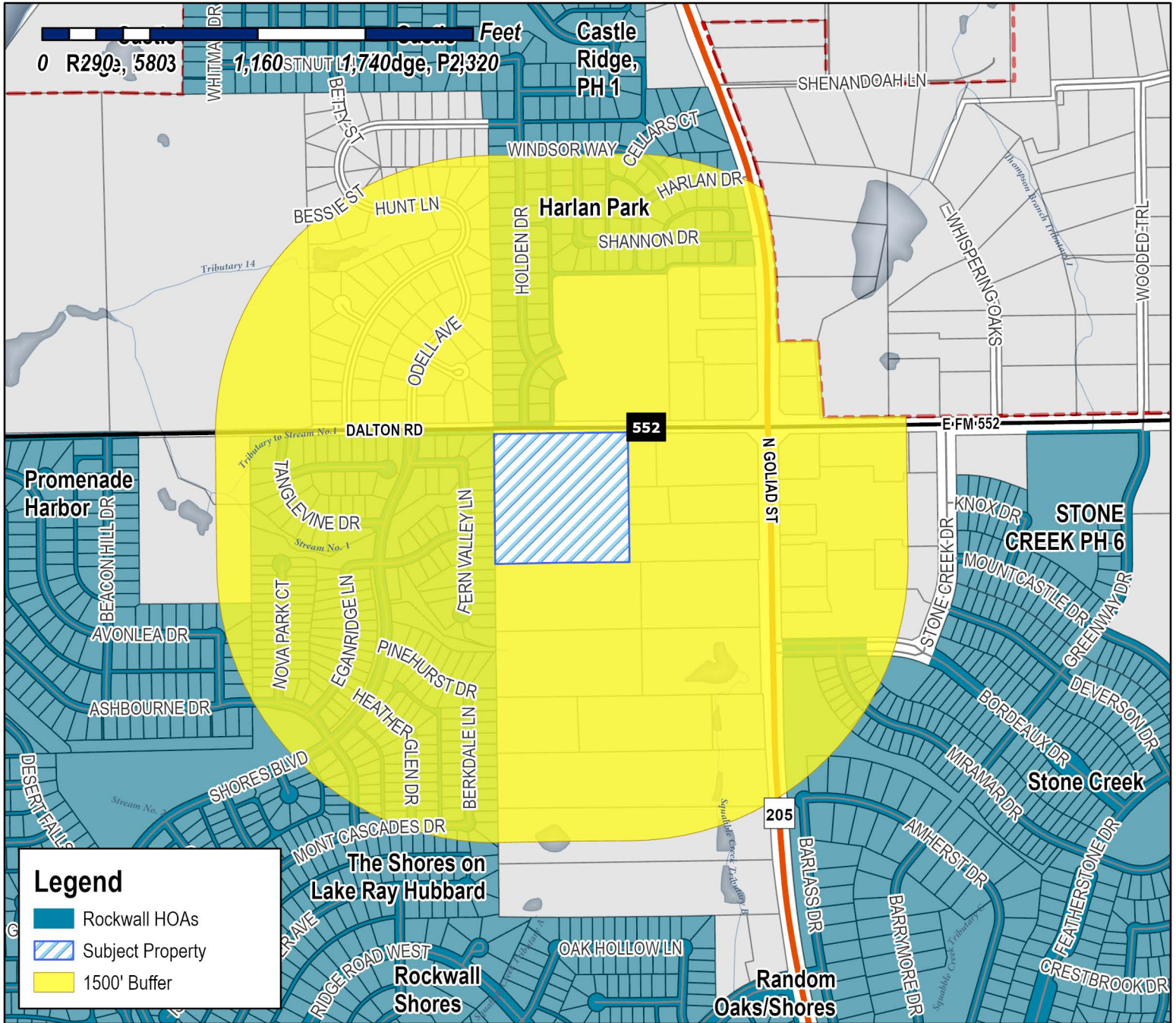




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Case Number: Z2023-033
Case Name: SUP for Residential Infill
Case Type: Zoning
Zoning: Agricultural (AG) District
Case Address: 803 Dalton Road

Date Saved: 7/14/2023
 For Questions on this Case Call (972) 771-7745



From: [Zavala, Melanie](#)
Cc: [Miller, Ryan](#); [Ross, Bethany](#); [Guevara, Angelica](#); [Lee, Henry](#)
Subject: Neighborhood Notification Program [Z2023-033]
Date: Wednesday, July 19, 2023 9:05:32 AM
Attachments: [HOA Map \(07.14.2023\).pdf](#)
[Public Notice \(P&Z\) \(7.17.2023\).pdf](#)

HOA/Neighborhood Association Representative:

Per your participation in the [Neighborhood Notification Program](#), you are receiving this notice to inform your organization that a zoning case has been filed with the City of Rockwall that is located within 1,500-feet of the boundaries of your neighborhood. As the contact listed for your organization, you are encouraged to share this information with the residents of your subdivision. Please find the attached map detailing the property requesting to be rezoned in relation to your subdivision boundaries. Additionally, below is the summary of the zoning case that will be published in the Rockwall Herald Banner on [July 21, 2023](#). The Planning and Zoning Commission will hold a public hearing on [Tuesday, August 15, 2023 at 6:00 PM](#), and the City Council will hold a public hearing on [Monday, August 21, 2023 at 6:00 PM](#). Both hearings will take place at 6:00 PM at City Hall, 385 S. Goliad, Rockwall, TX 75087.

All interested parties are encouraged to submit public comments via email to Planning@rockwall.com at least 30 minutes in advance of the meeting. Please include your name, address, and the case number your comments are referring to. These comments will be read into the record during each of the public hearings. Additional information on all current development cases can be found on the City's website: <https://sites.google.com/site/rockwallplanning/development/development-cases>.

Z2023-033: SUP for Residential Infill at 803 Dalton Road

Hold a public hearing to discuss and consider a request by Dennis and Melissa Cain for the approval of a [Specific Use Permit \(SUP\)](#) for Residential Infill Adjacent to an Established Subdivision for the purpose of allowing the construction of a single-family home on a 12.00-acre tract of land identified as Tracts 8-01 & 8-02 of the W. T. DeWeese Survey, Abstract No. 71, City of Rockwall, Rockwall County, Texas, zoned Agricultural (AG) District, addressed as 803 Dalton Road, and take any action necessary.

Thank you,

Melanie Zavala

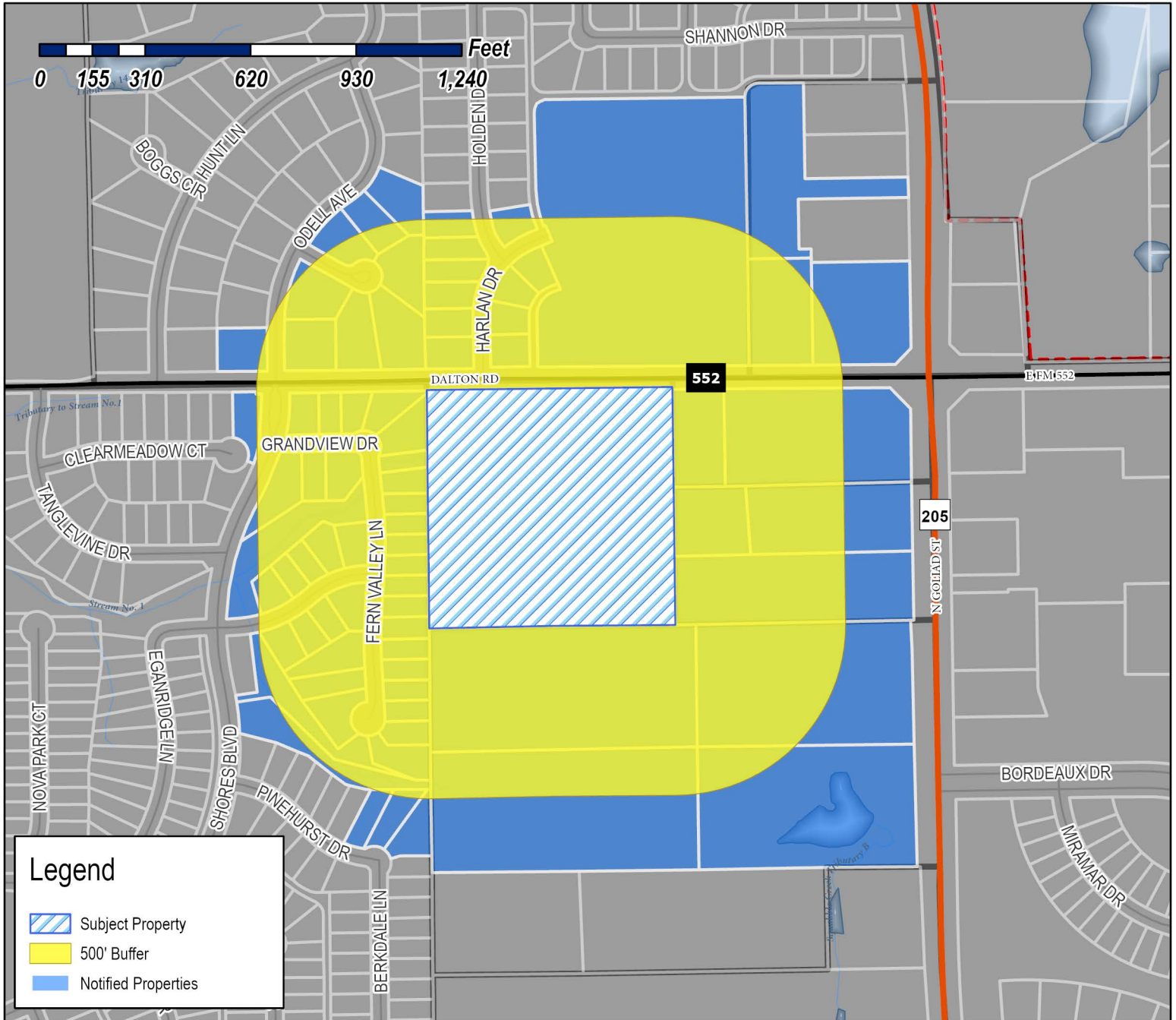
Planning & Zoning Coordinator | Planning Dept. | City of Rockwall
385 S. Goliad Street | Rockwall, TX 75087
<http://www.rockwall.com/>
972-771-7745 Ext. 6568



City of Rockwall

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Case Number: Z2023-033
Case Name: SUP for Residential Infill
Case Type: Zoning
Zoning: Agricultural (AG) District
Case Address: 803 Dalton Road

Date Saved: 7/14/2023

For Questions on this Case Call: (972) 771-7746



MOHAREB RAMI & MARIAN HANNA
1000 PINEHURST DR
ROCKWALL, TX 75087

WATTS KEVIN CONNELLY
106 PECAN DR
ROCKWALL, TX 75087

RESIDENT
1265 GRANDVIEW DR
ROCKWALL, TX 75087

PEYROVAN PEYMAN & MANDANA HAKIMI
1270 GRANDVIEW
ROCKWALL, TX 75087

RESIDENT
1275 GRANDVIEW DR
ROCKWALL, TX 75087

MCCORMICK LINDA
1280 GRANDVIEW DR
ROCKWALL, TX 75087

GONZALEZ FERNANDO
1285 GRANDVIEW
ROCKWALL, TX 75087

SMITH JAMES R
1290 GRANDVIEW DR
ROCKWALL, TX 75087

ARDEN JOSEPH R AND
LISA M STEWART ARDEN
1292 HIGHLAND DR
ROCKWALL, TX 75087

RESIDENT
1295 GRANDVIEW DR
ROCKWALL, TX 75087

DUNN KENT AND AMBER
1305 CLEARMEADOW COURT
ROCKWALL, TX 75087

CAMPOS BENJAMIN & TRACY
139 WAGON TRAIL
ROCKWALL, TX 75032

BARTLEY JOSHUA AND ASHLEY
1859 RANDOM OAKS DR
ROCKWALL, TX 75087

EGANRIDGE SERIES
A SERIES OF CA & LA LLC
201 GOLD STREET SUITE 300
GARLAND, TX 75042

NICHOLS KESNEY
2130 BERKDALE LANE
ROCKWALL, TX 75087

HUNT INES V & ROBERT W
2390 WATER WAY
ROCKWALL, TX 75087

ALDI TEXAS LLC
2500 WESTCOURT ROAD
DENTON, TX 76207

DUNNIGAN MICHAEL
2650 FERN VALLEY LN
ROCKWALL, TX 75087

STOVALL HUGH & BETTY JO
2660 FERN VALLEY LN
ROCKWALL, TX 75087

YOUNG GARY L AND JENNIFER E CAWTHON
2665 FERN VALLEY LN
ROCKWALL, TX 75087

RESIDENT
2670 FERN VALLEY LN
ROCKWALL, TX 75087

RESIDENT
2680 FERN VALLEY LN
ROCKWALL, TX 75087

WEISS WALTER J & AURELIA JOANN
2685 FERN VALLEY LN
ROCKWALL, TX 75087

MORGAN ELLEN IONE
2690 FERN VALLEY LN
ROCKWALL, TX 75087

JOLLEY LOIS MAYNO
2700 FERN VALLEY LN
ROCKWALL, TX 75087

COLLIER CASEY JAMES
2705 FERN VALLEY LANE
ROCKWALL, TX 75087

WOUDWYK TYLER AND ANDREA L CROASDALE
WOUDWYK
2710 FERN VALLEY LN
ROCKWALL, TX 75087

MAXWELL KRISTIN R AND NATHANIEL A
2720 FERN VALLEY LN
ROCKWALL, TX 75087

MATHEW DANIEL AND EMILIE MENDALA-
MATHEW
2730 FERN VALLEY LANE
ROCKWALL, TX 75087

RICH JENNIFER A
2740 FERN VALLEY LN
ROCKWALL, TX 75087

RESIDENT
2750 FERN VALLEY LN
ROCKWALL, TX 75087

POULSON LESLIE C & CAROL D
2760 FERN VALLEY LN
ROCKWALL, TX 75087

WEATHERFORD CONNIE
2770 FERN VALLEY LANE
ROCKWALL, TX 75087

LAWSON JAMES W & SARAH
2780 FERN VALLEY LANE
ROCKWALL, TX 75087

HODGES BARBARA
2800 FERN VALLEY LANE
ROCKWALL, TX 75087

LAZORKO JACOB & SHAWNA LAZORKO
2820 EGANRIDGE LN
ROCKWALL, TX 75087

KECK MELISSA M
2825 EGANRIDGE LANE
ROCKWALL, TX 75087

LANGSTON ELAINA AND TIMOTHY
2830 EAGEN RIDGE LN
ROCKWALL, TX 75087

DOORNEK JORDAN
2835 EGANRIDGE LANE
ROCKWALL, TX 75087

RESIDENT
2840 EGANRIDGE LN
ROCKWALL, TX 75087

RESIDENT
2845 EGANRIDGE LN
ROCKWALL, TX 75087

GRUBBS BEN R & SHIRLEY J
2855 EGANRIDGE LN
ROCKWALL, TX 75087

BARRON RODOLFO & KRISTIN M
2860 EGANRIDGE LANE
ROCKWALL, TX 75087

RESIDENT
2865 EGANRIDGE LN
ROCKWALL, TX 75087

FREE METHODIST CHURCH
OF NORTH AMERICA
302 N GOLIAD ST
ROCKWALL, TX 75087

RESIDENT
3061 N GOLIAD ST
ROCKWALL, TX 75087

THE STEED FAMILY LIVING TRUST
JASON STEED AND NATALIE MARIE STEED -
TRUSTEES
3065 N GOLIAD ST
ROCKWALL, TX 75087

STEED JASON & NATALIE MARIE
3065 N GOLIAD STREET
ROCKWALL, TX 75087

LIU JOHN AND CONNIE Q
3069 N GOLIAD
ROCKWALL, TX 75087

LIU JOHN & CONNIE
3069 N GOLIAD
ROCKWALL, TX 75087

RESIDENT
3073 N GOLIAD ST
ROCKWALL, TX 75087

RESIDENT
3077 N GOLIAD ST
ROCKWALL, TX 75087

FRENCH DONALD
3079 N GOLIAD ST
ROCKWALL, TX 75087

RESIDENT
315 DALTON RD
ROCKWALL, TX 75087

RESIDENT
3251 N GOLIAD
ROCKWALL, TX 75087

RESIDENT
335 DALTON RD
ROCKWALL, TX 75087

RESIDENT
350 DALTON ROAD
ROCKWALL, TX 75087

CITY OF ROCKWALL
ATTN;MARY SMITH
385 S GOLIAD ST
ROCKWALL, TX 75087

CITY OF ROCKWALL
ATTN;MARY SMITH
385 S GOLIAD ST
ROCKWALL, TX 75087

CITY OF ROCKWALL
ATTN;MARY SMITH
385 S GOLIAD ST
ROCKWALL, TX 75087

CARTER RICHARD W AND JODY
406 MCKINZIE PL
ROCKWALL, TX 75087

RESIDENT
408 MCKINZIE PL
ROCKWALL, TX 75087

MASON KEITH AND
ANN MARIE MASON
410 MCKENZIE PLACE
ROCKWALL, TX 75087

ROCKWALL 205-552 LLC
4622 MAPLE AVE SUITE 200
DALLAS, TX 75219

YANG BO AND
YUE HU
707-8633 CAPSTAN WAY
RICHMOND CANADA,

CONFIDENTIAL
709 W. RUSK ST. SUITE B-852
ROCKWALL, TX 75087

RESIDENT
7100 ODELL
ROCKWALL, TX 75087

BULLARD JUSTIN
JOLIE DAY
7100 HARLAN DRIVE
ROCKWALL, TX 75087

SCHULZE DAVID J & CYNTHIA K
7101 HARLAN DR
ROCKWALL, TX 75087

KOSMAS NICHOLAS AND SABRINA
7101 ODELL AVE
ROCKWALL, TX 75087

ANDERSON PATRICK STEVEN & ROSEANNE
7102 HARLAN DR
ROCKWALL, TX 75087

LAWRENCE KIMBERLY DALE LIVING TRUST
KIMBERLY DALE LAWRENCE TRUSTEE
7102 ODELL AVENUE
ROCKWALL, TX 75087

RESIDENT
7103 HARLAN DR
ROCKWALL, TX 75087

PATLAN MARIO JR AND AMY
7104 HARLAN DR
ROCKWALL, TX 75087

LUNA ERIC AND ANNABELL
7104 ODELL AVENUE
ROCKWALL, TX 75087

LOMBARD THOMAS E AND PAULA J
7105 HARLAN DRIVE
ROCKWALL, TX 75087

RESIDENT
7106 ODELL AVE
ROCKWALL, TX 75087

BURKE AIMEE M
7106 HARLAN DR
ROCKWALL, TX 75087

SHORES SUSAN RUTH
7107 HARLAN DRIVE
ROCKWALL, TX 75087

CONFIDENTIAL
7108 ODELL AVE
ROCKWALL, TX 75087

THOMPSON THOMAS J &
PAIGE C TILEY
7109 HOLDEN DR
ROCKWALL, TX 75087

GREENLEY MARY E TRUSTEE
MARY E GREENLEY REVOC LIVING TRUST
7110 HOLDEN DR
ROCKWALL, TX 75087

RESIDENT
7111 HOLDEN DR
ROCKWALL, TX 75087

CORY CLAYTON M & KATHLEEN A
7125 HOLDEN DR
ROCKWALL, TX 75087

CAIN DENNIS & MELISSA
803 DALTON RD
ROCKWALL, TX 75087

CAIN DENNIS & MELISSA
803 DALTON RD
ROCKWALL, TX 75087

SPAULDING PATRICK F & OLIVIA J
990 PINEHURST DR
ROCKWALL, TX 75087

ARP 2014-1 BORROWER LLC
ATTN: PROPERTY TAX DEPARTMENT 23975
PARK SORRENTO , SUITE 300
CALABASAS, CA 91302

VENETO HOLDINGS LLC
P. O. BOX 2379
CHANDLER, AZ 85244

LITOVSKY MARIA AND ROBERTO
PO BOX 2004
ROCKWALL, TX 75087

DOUPHRADE SHARON K
PO BOX 2561
ROCKWALL, TX 75087

JCK CONCRETE INC
PO BOX 311
FATE, TX 75132

PUBLIC NOTICE



CITY OF ROCKWALL
PLANNING AND ZONING DEPARTMENT
PHONE: (972) 771-7745
EMAIL: PLANNING@ROCKWALL.COM

Property Owner and/or Resident of the City of Rockwall:

You are hereby notified that the City of Rockwall Planning and Zoning Commission and City Council will consider the following application:

Z2023-033: SUP for Residential Infill at 803 Dalton Road

Hold a public hearing to discuss and consider a request by Dennis and Melissa Cain for the approval of a *Specific Use Permit (SUP)* for Residential Infill Adjacent to an Established Subdivision for the purpose of allowing the construction of a single-family home on a 12.00-acre tract of land identified as Tracts 8-01 & 8-02 of the W. T. DeWeese Survey, Abstract No. 71, City of Rockwall, Rockwall County, Texas, zoned Agricultural (AG) District, addressed as 803 Dalton Road, and take any action necessary.

For the purpose of considering the effects of such a request, the Planning and Zoning Commission will hold a public hearing on Tuesday, August 15, 2023 at 6:00 PM, and the City Council will hold a public hearing on Monday, August 21, 2023 at 6:00 PM. These hearings will be held in the City Council Chambers at City Hall, 385 S. Goliad Street.

As an interested property owner, you are invited to attend these meetings. If you prefer to express your thoughts in writing please return the form to:

Angelica Guevara
Rockwall Planning and Zoning Dept.
385 S. Goliad Street
Rockwall, TX 75087

You may also email your comments to the Planning Department at planning@rockwall.com. If you choose to email the Planning Department please include your name and address for identification purposes.

Your comments must be received by Monday, August 21, 2023 at 4:00 PM to ensure they are included in the information provided to the City Council.

Sincerely,

Ryan Miller, AICP
Director of Planning & Zoning



MORE INFORMATION ON THIS CASE CAN BE FOUND AT: <https://sites.google.com/site/rockwallplanning/development/development-cases>

PLEASE RETURN THE BELOW FORM

Case No. Z2023-033: SUP for Residential Infill at 803 Dalton Road

Please place a check mark on the appropriate line below:

- I am in favor of the request for the reasons listed below.
- I am opposed to the request for the reasons listed below.

Name:

Address:

Tex. Loc. Gov. Code, Sec. 211.006 (d) If a proposed change to a regulation or boundary is protested in accordance with this subsection, the proposed change must receive, in order to take effect, the affirmative vote of at least three-fourths of all members of the governing body. The protest must be written and signed by the owners of at least 20 percent of either: (1) the area of the lots or land covered by the proposed change; or (2) the area of the lots or land immediately adjoining the area covered by the proposed change and extending 200 feet from that area.

PLEASE SEE LOCATION MAP OF SUBJECT PROPERTY ON THE BACK OF THIS NOTICE

Ross, Bethany

From: [REDACTED]
Sent: Thursday, July 27, 2023 9:48 AM
To: Planning
Subject: Z2023-033:SUP for Residential Infill at 803 Dalton Road

Dear Ms. Guevara,

We received the notice regarding the public hearing for discussion of the above-referenced zoning change request. We will not be in attendance but wanted to express our support for the change. We look from our back door toward this property and are thrilled that it was purchased by the Cains rather than a developer. We gladly support their desire to build a home (or homes) for their family's use.

Thank you for the opportunity to have input in this. We are grateful!

Don and Angie French
3079 N. Goliad
Rockwall, TX 75087

[Sent from Yahoo Mail for iPad](#)

CAUTION: This email originated from outside of the organization. Do not click links or open attachments unless you recognize the sender and know the content is safe.

CAUTION: This email originated from outside of the organization. Do not click links or open attachments unless you recognize the sender and know the content is safe.

Please place a check mark on the appropriate line below:

I am in favor of the request for the reasons listed below.

I am opposed to the request for the reasons listed below.

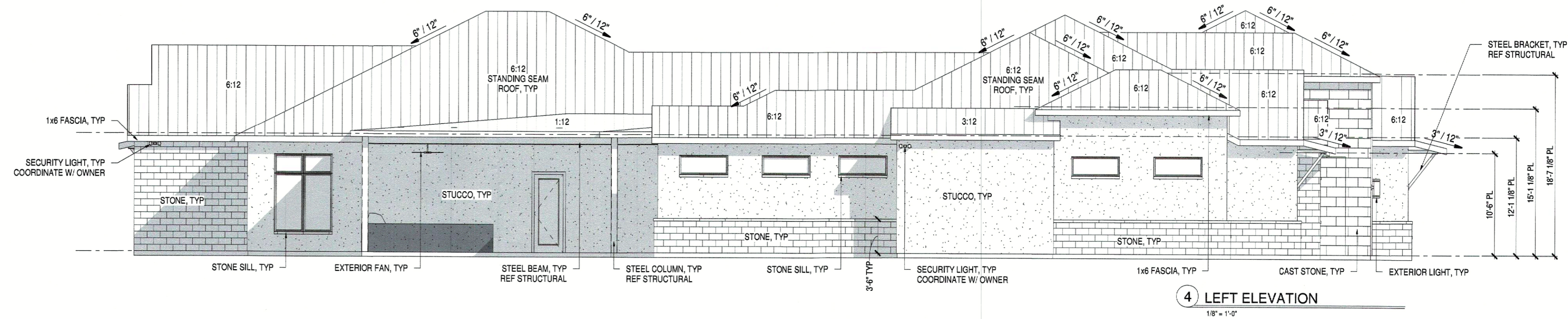
Property Values are high enough and we don't need them going up. Also, no synthetic turf should be allowed for A yard. If the surrounding residence in the HOA's are not allowed then the same should apply county wide. Use real grass!

Name: Melissa Keck

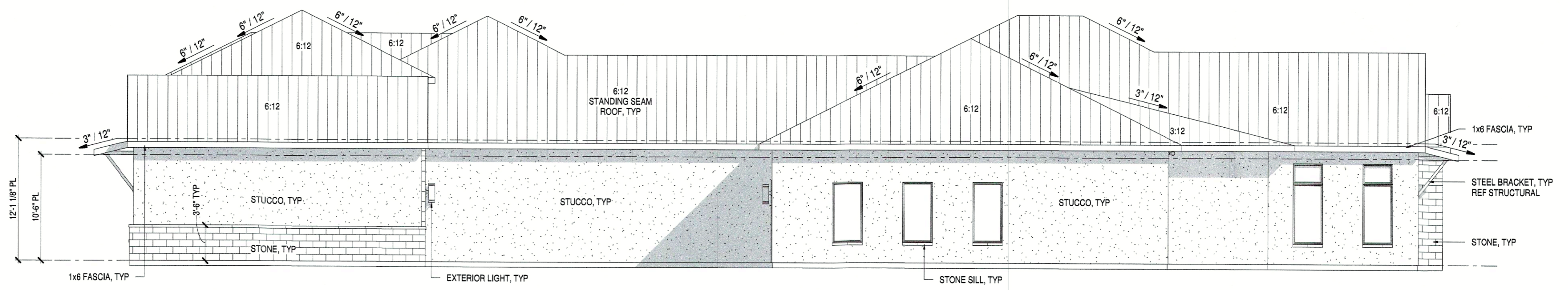
Address: 2825 Eganridge Ln. Rockwall TX 75087

Tex. Loc. Gov. Code Sec. 211.006 (d) If a proposed change to a regulation or boundary is protested in accordance with this subsection, the proposed change must receive, in order to take effect, the affirmative vote of at least three-fourths of all members of the governing body. The protest must be written and signed by the owners of at least 20 percent of either: (1) the area of the lots or land covered by the proposed change; or (2) the area of the lots or land immediately adjoining the area covered by the proposed change and extending 200 feet from that area.

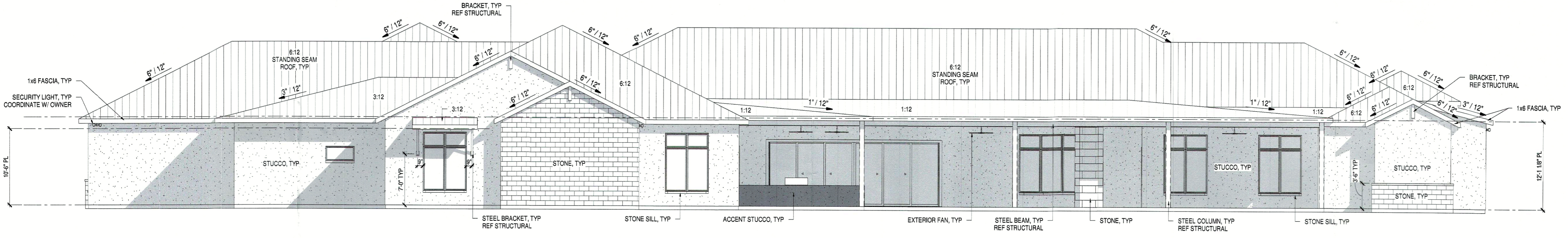
PLEASE SEE LOCATION MAP OF SUBJECT PROPERTY ON THE BACK OF THIS NOTICE



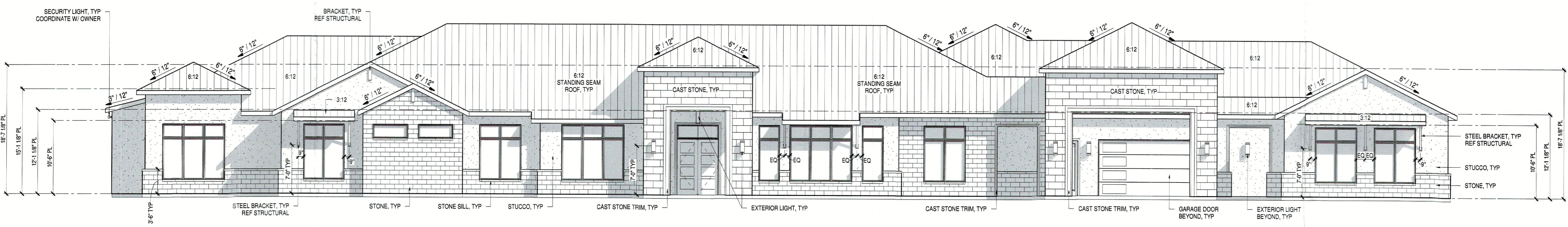
4 LEFT ELEVATION
1/8" = 1'-0"



3 RIGHT ELEVATION
1/8" = 1'-0"



2 REAR ELEVATION
1/8" = 1'-0"



1 FRONT ELEVATION
1/8" = 1'-0"

VERSION 1

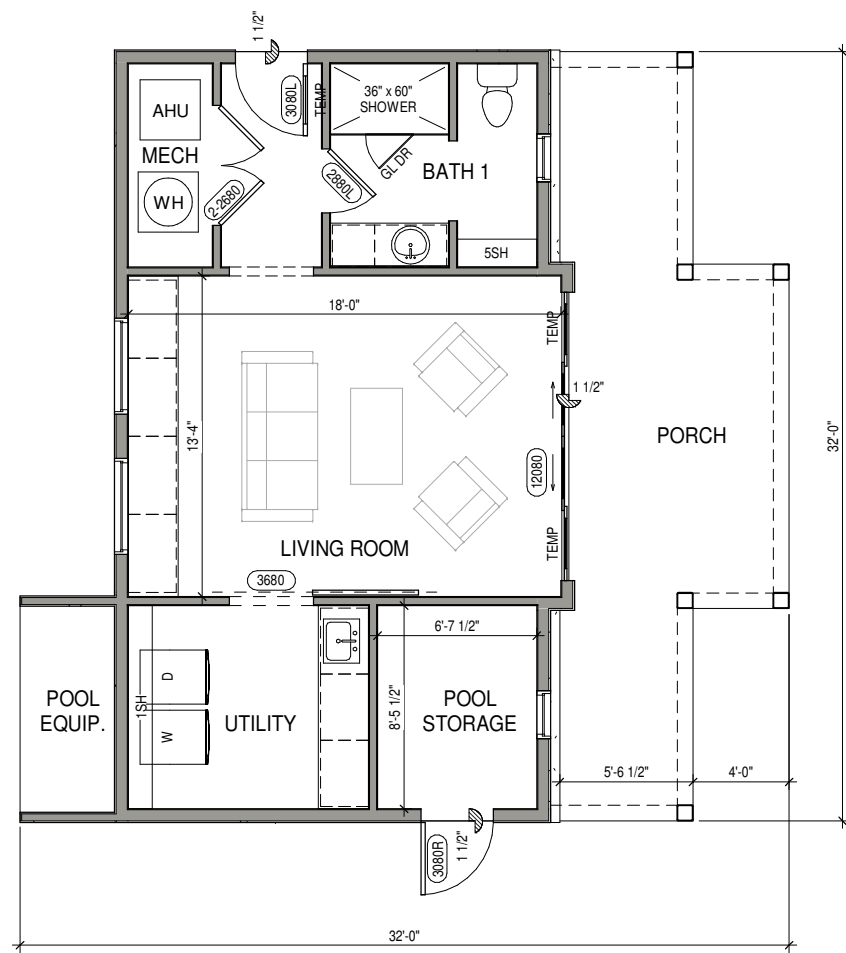
DENNIS CAIN
 BUILDER
 SUBD. PRIVATE RESIDENCE
 LOT BLOCK
 ADDRESS 803 DALTON RD.
 CITY ROCKWALL, TX 75087
 PLAN

DATE 06.01.2023
 SCALE 1/8" = 1'-0"
 DRN

A20.02

STRAND 2238871

These drawings and specifications shall be restricted to the site for which they were prepared. Any reproduction or distribution is expressly prohibited without the written consent of STRAND SYSTEMS ENGINEERING INC.

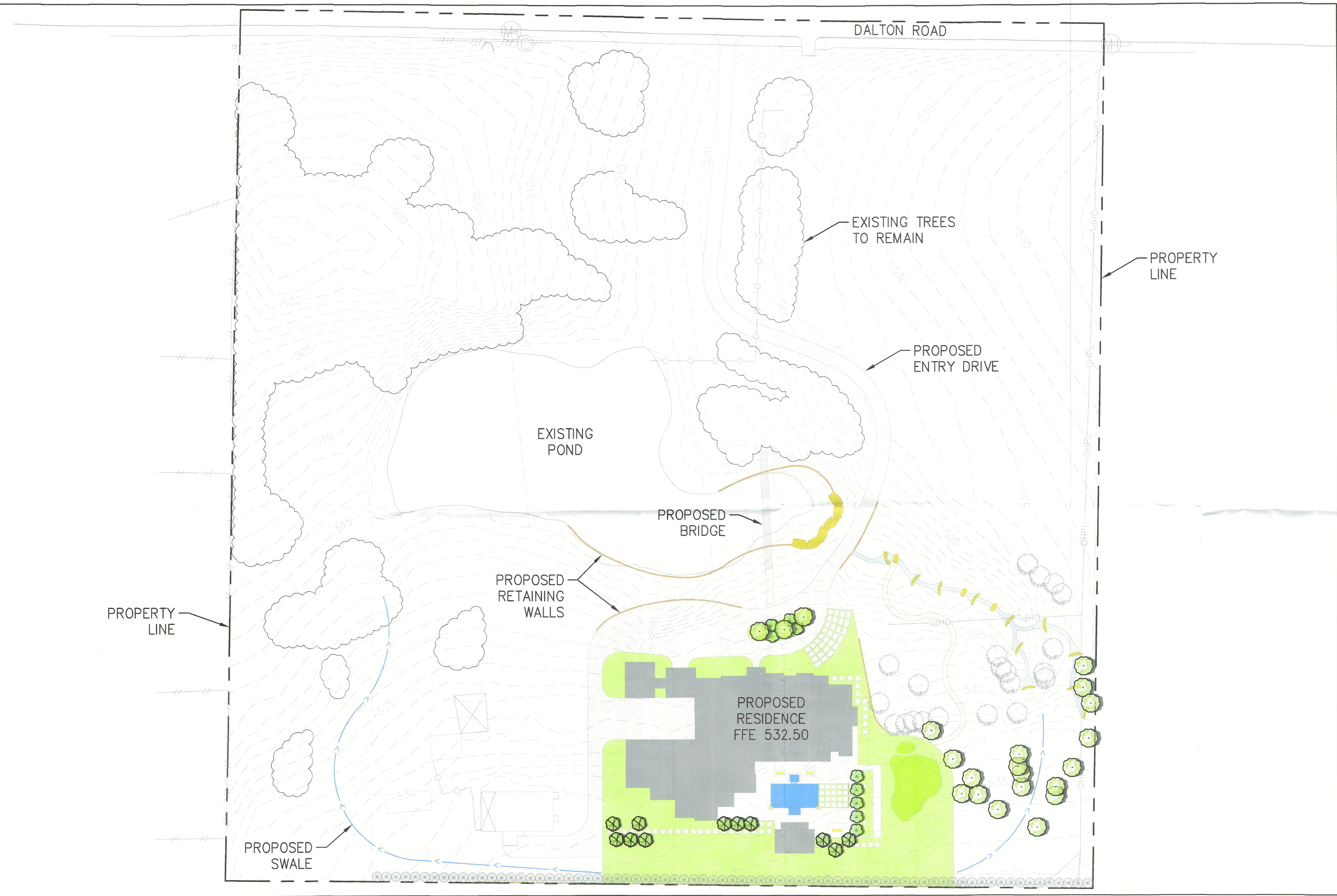


GROSS SQUARE FOOTAGE: 862SF
CONDITIONED SQUARE FOOTAGE: 598SF



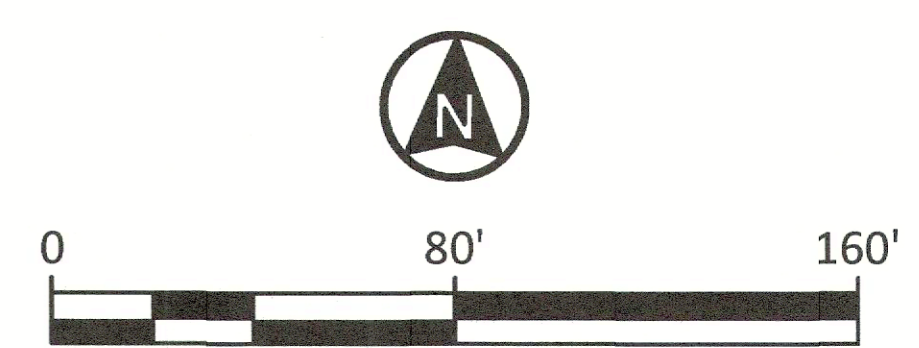
POOL HOUSE - 862 SQ FT





LEGEND

	RESIDENCE
	CONCRETE/STONE PATIO
	POOL/HOT TUB
	FIRE PIT
	PUTTING GREEN
	SYNTHETIC TURF
	STREAM
	STREAM BOULDERS
	RETAINING WALL
	NATURE TRAIL
	SWALE/DRAINAGE



6/22/2023

CAIN RESIDENCE

CONCEPTUAL DESIGN DEVELOPMENT

OVERALL LAYOUT

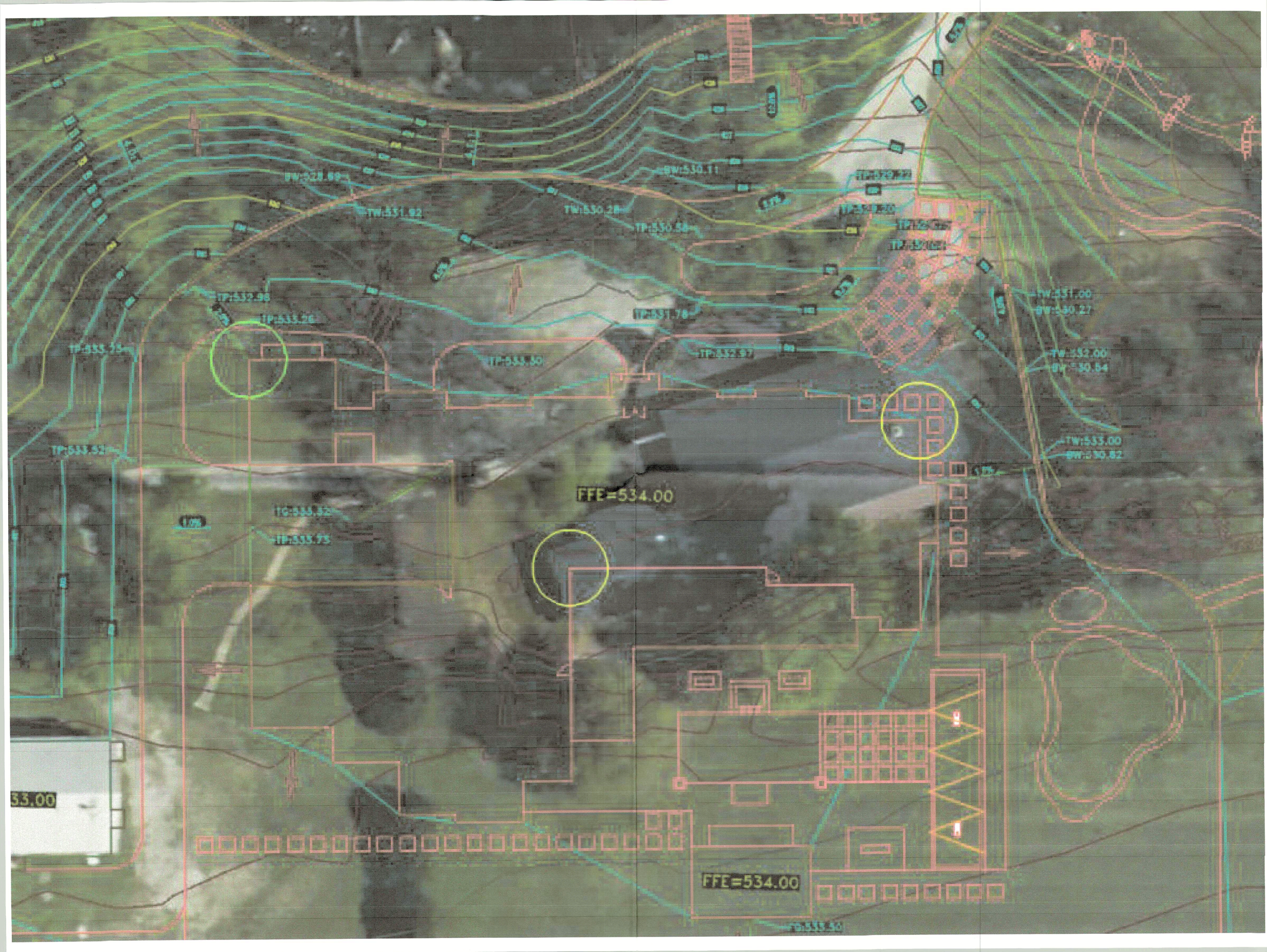
PLANNING AND LANDSCAPE ARCHITECTURE
 KENNY KOWIS, PLA | KENNY.KOWIS@STRANDAE.COM | 972.620.8204

This exhibit is an illustrative representation for presentation purposes only and should not be used for computation or construction purposes. The information provided within should be considered a graphic representation to aid in determining plan components and relationships and is subject to change without notice. All property boundaries, easements, road alignments, drainage, floodplains, environmental issues and other information shown is approximate and should not be relied upon for any purpose. No warranties, express or implied, concerning the actual design, accuracy, location, and character of the facilities shown on this exhibit are intended.
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STRAND

10003 TECHNOLOGY BLVD WEST | DALLAS TEXAS 75220 | 972 620 8204

I:\cain residence - rockwall (2313976)\6.0_dd\6.1_cad\2313976_concept_plan.dwg, kenny.kowis, 6/22/2023 9:55 AM



FFE=534.00

FFE=534.00

53.00

TP:533.50



CITY OF ROCKWALL

HOUSING ANALYSIS FOR CASE NO. Z2023-033

PLANNING AND ZONING DEPARTMENT

385 S. GOLIAD STREET • ROCKWALL, TX 75087

PHONE: (972) 771-7745 • EMAIL: PLANNING@ROCKWALL.COM

ADJACENT HOUSING ATTRIBUTES

ADDRESS	HOUSING TYPE	YEAR BUILT	HOUSE SF	ACCESSORY BUILDING	EXTERIOR MATERIALS
335 Dalton Road	Single-Family Home	2002	3,420	N/A	Brick
803 Dalton Road	Vacant	N/A	N/A	N/A	N/A
3077 N. Goliad Street	Single-Family Home	1993	6,848	1980	Brick
3079 N. Goliad Street	Single-Family Home	1993	4,161	N/A	Siding
2720 Fern Valley Lane	Single-Family Home	2005	2,535	N/A	Brick
2730 Fern Valley Lane	Single-Family Home	2005	2,829	N/A	Brick
2740 Fern Valley Lane	Single-Family Home	2005	2,816	N/A	Brick
2750 Fern Valley Lane	Single-Family Home	2005	2,494	N/A	Brick
2760 Fern Valley Lane	Single-Family Home	2005	2,764	N/A	Brick
2770 Fern Valley Lane	Single-Family Home	2005	2,525	N/A	Brick
2780 Fern Valley Lane	Single-Family Home	2005	3,029	N/A	Brick
2800 Fern Valley Lane	Single-Family Home	2006	2,718	N/A	Brick
	AVERAGES:	2003	3,285	1,980	



CITY OF ROCKWALL

HOUSING ANALYSIS FOR CASE NO. Z2023-033

PLANNING AND ZONING DEPARTMENT

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335 Dalton Road



803 Dalton Road



CITY OF ROCKWALL

HOUSING ANALYSIS FOR CASE NO. Z2023-033

PLANNING AND ZONING DEPARTMENT

385 S. GOLIAD STREET • ROCKWALL, TX 75087

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3077 N. Goliad Street



3079 N. Goliad Street



CITY OF ROCKWALL

HOUSING ANALYSIS FOR CASE NO. Z2023-033

PLANNING AND ZONING DEPARTMENT

385 S. GOLIAD STREET • ROCKWALL, TX 75087

PHONE: (972) 771-7745 • EMAIL: PLANNING@ROCKWALL.COM



2720 Fern Valley Lane



2730 Fern Valley Lane



CITY OF ROCKWALL

HOUSING ANALYSIS FOR CASE NO. Z2023-033

PLANNING AND ZONING DEPARTMENT

385 S. GOLIAD STREET • ROCKWALL, TX 75087

PHONE: (972) 771-7745 • EMAIL: PLANNING@ROCKWALL.COM



2740 Fern Valley Lane



2750 Fern Valley Lane



CITY OF ROCKWALL

HOUSING ANALYSIS FOR CASE NO. Z2023-033

PLANNING AND ZONING DEPARTMENT

385 S. GOLIAD STREET • ROCKWALL, TX 75087

PHONE: (972) 771-7745 • EMAIL: PLANNING@ROCKWALL.COM



2760 Fern Valley Lane



2770 Fern Valley Lane



CITY OF ROCKWALL

HOUSING ANALYSIS FOR CASE NO. Z2023-033

PLANNING AND ZONING DEPARTMENT

385 S. GOLIAD STREET • ROCKWALL, TX 75087

PHONE: (972) 771-7745 • EMAIL: PLANNING@ROCKWALL.COM



2780 Fern Valley Lane



2800 Fern Valley Lane

CITY OF ROCKWALL

ORDINANCE NO. 23-XX

SPECIFIC USE PERMIT NO. S-2XX

AN ORDINANCE OF THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS, AMENDING THE UNIFIED DEVELOPMENT CODE (UDC) [ORDINANCE NO. 20-02] OF THE CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS, AS PREVIOUSLY AMENDED, SO AS TO GRANT A SPECIFIC USE PERMIT (SUP) FOR RESIDENTIAL INFILL ADJACENT TO AN ESTABLISHED SUBDIVISION TO ALLOW THE CONSTRUCTION OF A SINGLE-FAMILY HOME AND GUEST QUARTERS/SECONDARY LIVING UNIT ON A 12.00-ACRE TRACT OF LAND, IDENTIFIED AS TRACTS 8-01 & 8-02 OF THE W.T. DEWEESE SURVEY, ABSTRACT NO. 71, CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS; AND MORE SPECIFICALLY DESCRIBED AND DEPICTED IN EXHIBIT 'A' OF THIS ORDINANCE; PROVIDING FOR SPECIAL CONDITIONS; PROVIDING FOR A PENALTY OF FINE NOT TO EXCEED THE SUM OF TWO THOUSAND DOLLARS (\$2,000.00) FOR EACH OFFENSE; PROVIDING FOR A SEVERABILITY CLAUSE; PROVIDING FOR A REPEALER CLAUSE; PROVIDING FOR AN EFFECTIVE DATE.

WHEREAS the City Council of the City of Rockwall, Texas, has adopted Ordinance No. 23-XX, an ordinance amending the Unified Development Code (UDC) of the City of Rockwall, Texas, to grant a Specific Use Permit (SUP) for Residential Infill Adjacent to an Established Subdivision on a 12.00-acre tract of land, identified as Tracts 8-01 & 8-02 of the W.T. Deweese Survey, Abstract No. 71, City of Rockwall, Rockwall County, Texas; and more specifically described and depicted in Exhibit 'A' of this ordinance; and

WHEREAS the City Council of the City of Rockwall, Texas, has adopted Ordinance No. 20-02, an ordinance amending the Unified Development Code (UDC) of the City of Rockwall, Texas, to provide for the construction of a single-family home and guest quarters/secondary living unit on a 12.00-acre tract of land, identified as Tracts 8-01 & 8-02 of the W.T. Deweese Survey, Abstract No. 71, City of Rockwall, Rockwall County, Texas; and more specifically described and depicted in Exhibit 'A' of this ordinance; and

NOW, THEREFORE BE IT ORDAINED that the City Council of the City of Rockwall, Texas, do hereby enact the following ordinance:

SECTION 1. The City Council of the City of Rockwall, Texas, hereby amends Ordinance No. 20-02, an ordinance amending the Unified Development Code (UDC) of the City of Rockwall, Texas, to provide for the construction of a single-family home and guest quarters/secondary living unit on a 12.00-acre tract of land, identified as Tracts 8-01 & 8-02 of the W.T. Deweese Survey, Abstract No. 71, City of Rockwall, Rockwall County, Texas; and more specifically described and depicted in Exhibit 'A' of this ordinance; and

SECTION 2. The City Council of the City of Rockwall, Texas, hereby amends Ordinance No. 23-XX, an ordinance amending the Unified Development Code (UDC) of the City of Rockwall, Texas, to grant a Specific Use Permit (SUP) for Residential Infill Adjacent to an Established Subdivision on a 12.00-acre tract of land, identified as Tracts 8-01 & 8-02 of the W.T. Deweese Survey, Abstract No. 71, City of Rockwall, Rockwall County, Texas; and more specifically described and depicted in Exhibit 'A' of this ordinance; and

Subject to 03.0 General Residential District Standards and 02.0 Agricultural (AG) District District Development Standards and District Ordinance No. 20-02-- as heretofore amended and may be amended in the future -- and

2.1 OPERATIONAL CONDITIONS

Guest Quarters/Secondary Living Unit on Subject Property and Building Elevations on Subject Property

Subject Property Residential Plot Plan Exhibit 'B'

Guest Quarters/Secondary Living Unit on Subject Property Building Elevations Exhibit 'C'

Guest Quarters/Secondary Living Unit 2:30 S

Guest Quarters/Secondary Living Unit

Guest Quarters/Secondary Living Unit

2.2 COMPLIANCE

Specific Use Permits (SUP) Development Applications and Review Procedures, District Ordinance No. 20-02

Building Permit after proper notice Revocation Development Applications and Revision Procedures District Ordinance No. 20-02

SECTION 3.

SECTION 4.

SECTION 5. TWO THOUSAND DOLLARS (\$2,000.00)

SECTION 6.

[Illegible text]

SECTION 7. [Illegible text]

**PASSED AND APPROVED BY THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS,
THIS THE 5th DAY OF SEPTEMBER, 2023.**

[Illegible] Mayor

ATTEST:

[Illegible] City Secretary

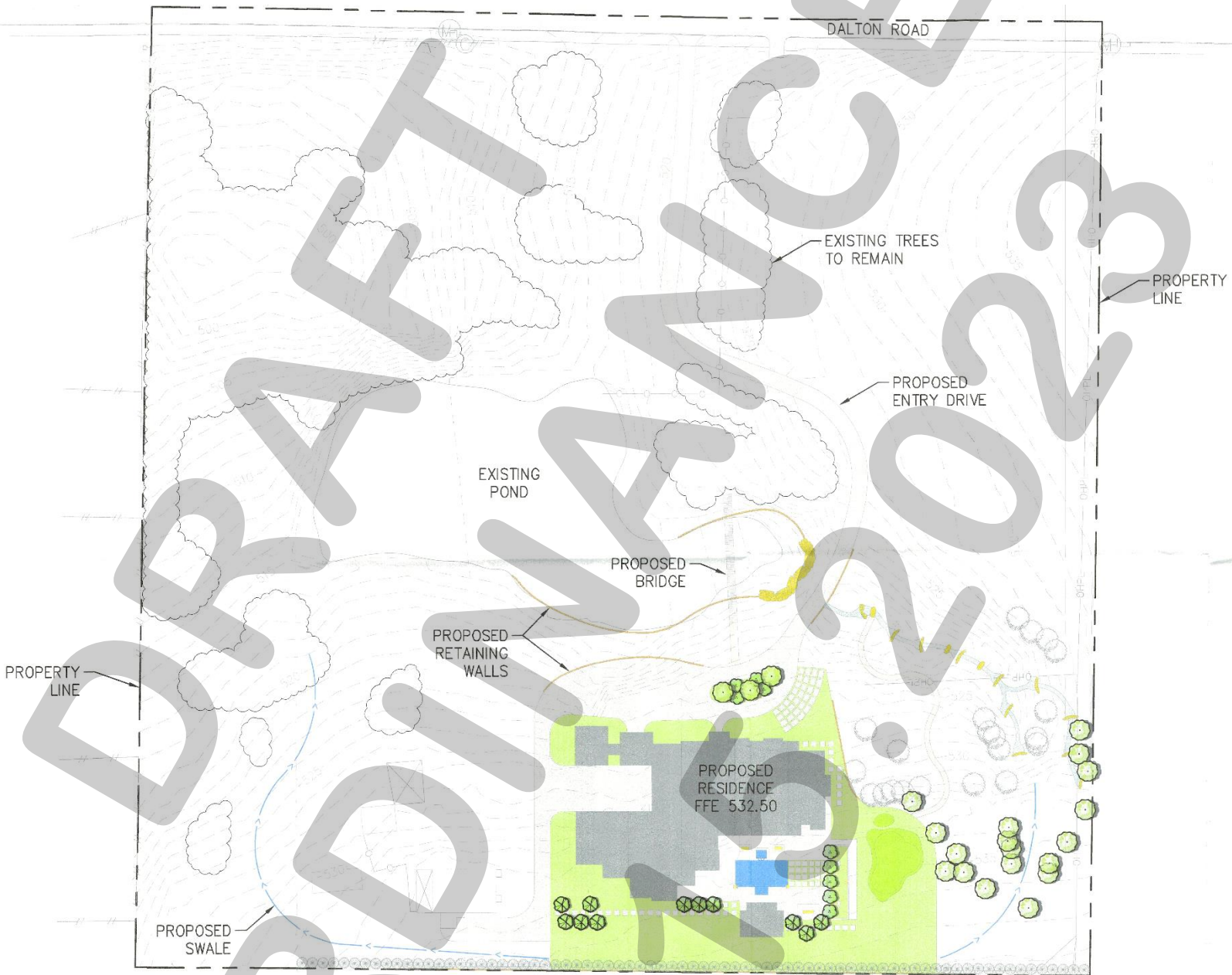
APPROVED AS TO FORM:

[Illegible] City Attorney

[Illegible] August 21, 2023

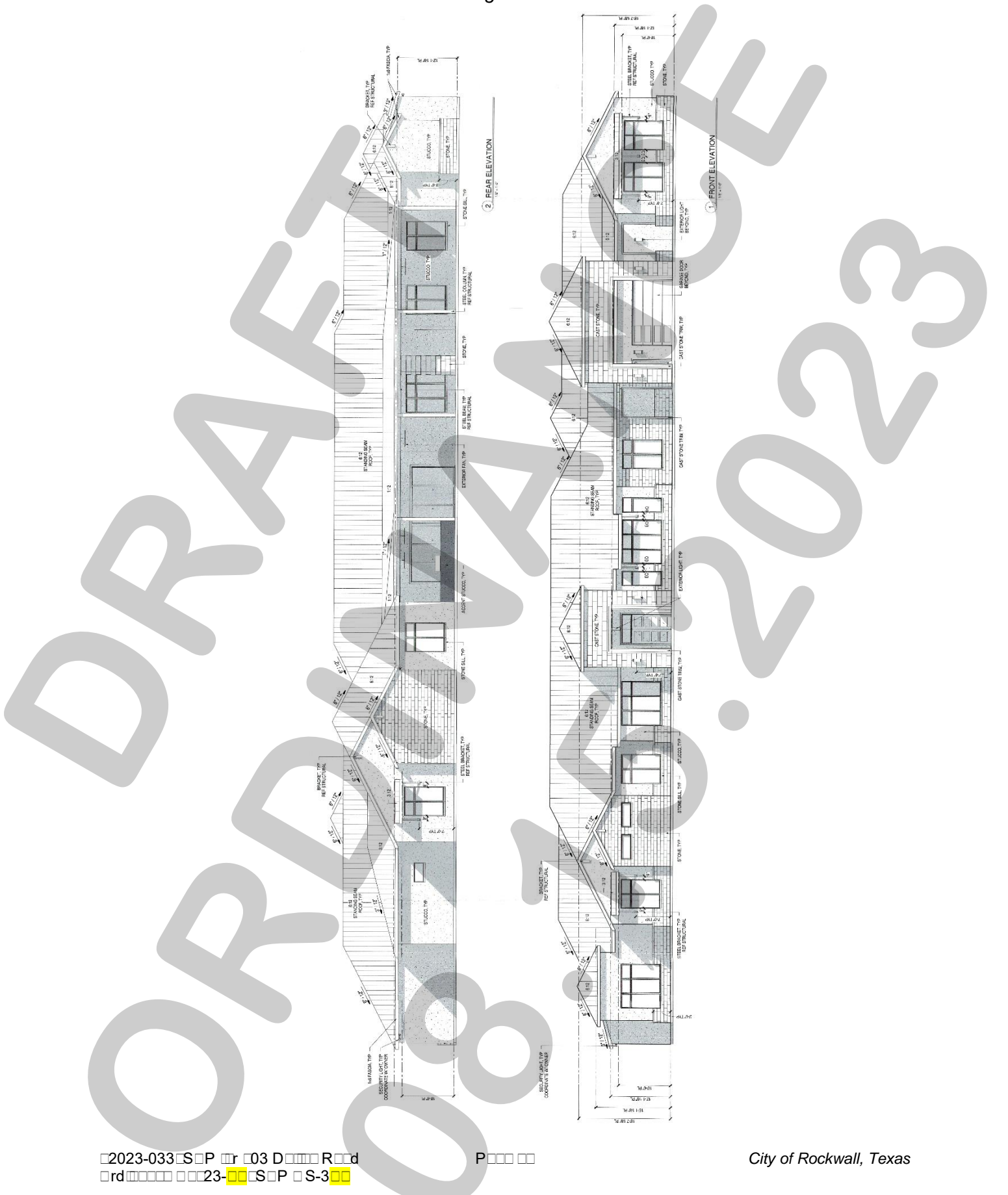
2nd [Illegible] September 5, 2023

**Exhibit 'B':
Residential Plot Plan**



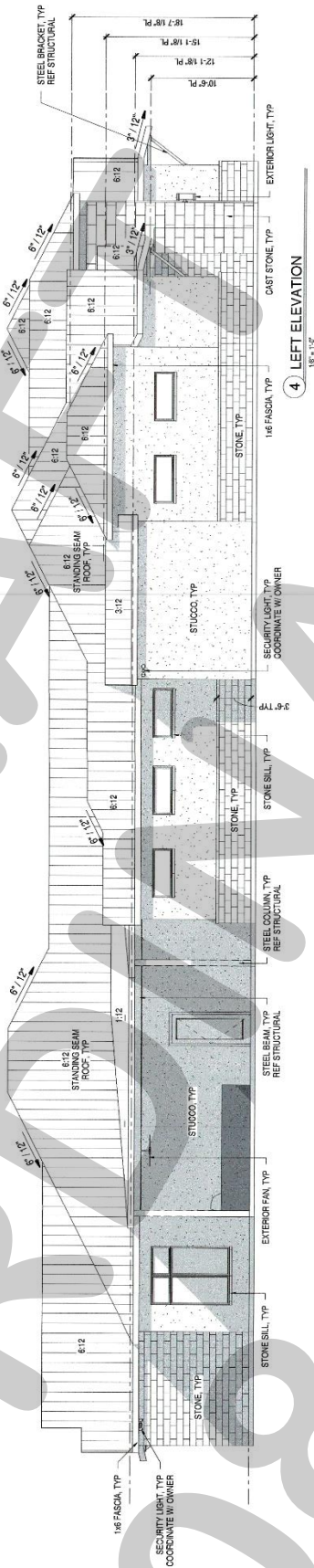
2023-033 S P r 03 D R rd P r d 23- S P S-3

Exhibit 'C':
Building Elevations

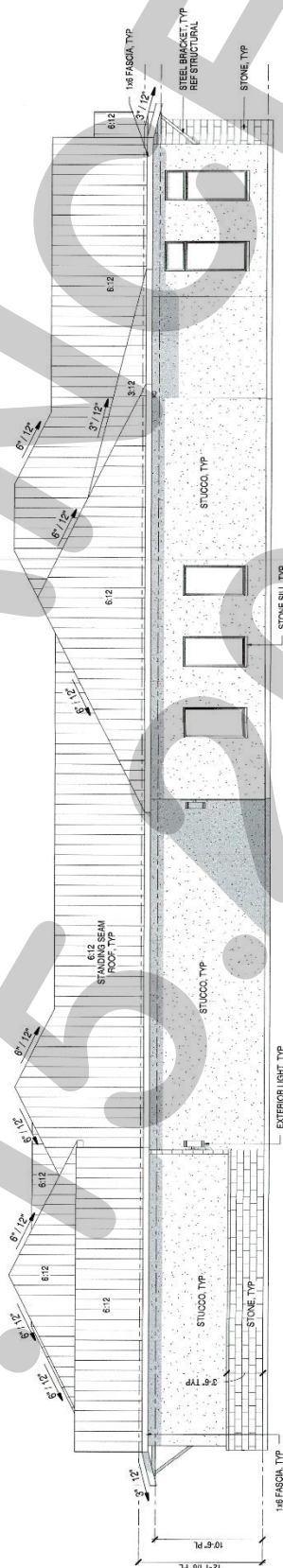


2023-033 S P r 03 D R d P
 rd 23- S P S-3

Exhibit 'C':
Building Elevations



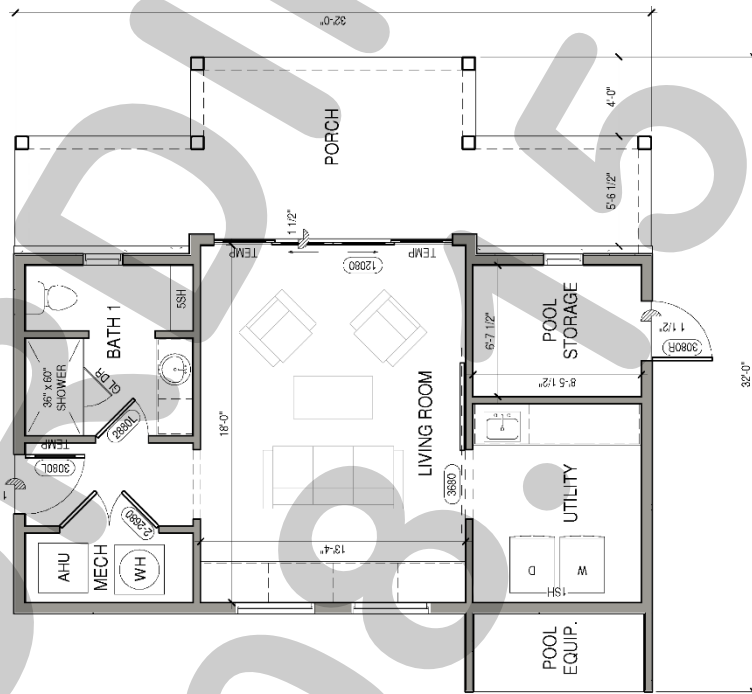
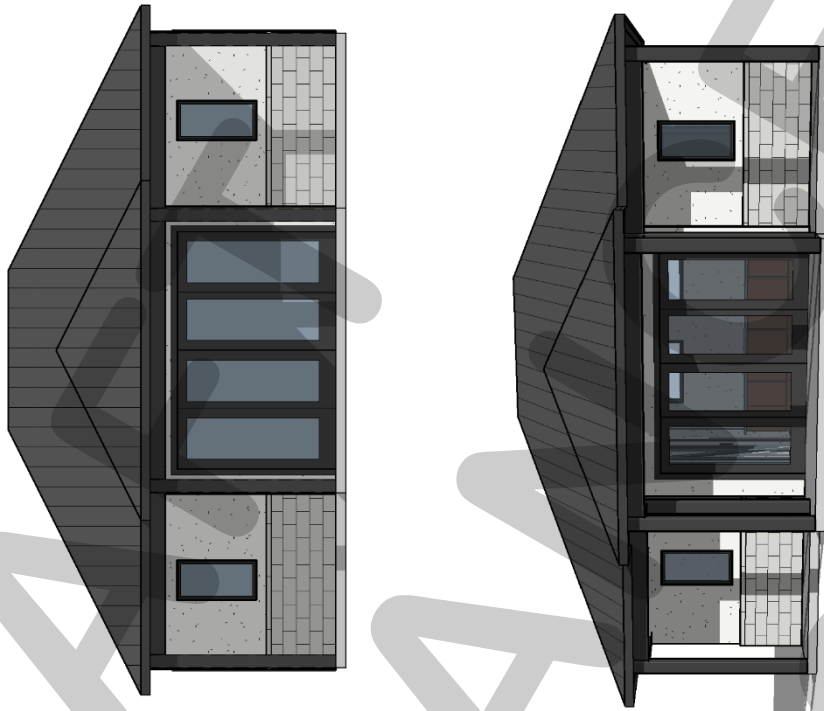
4 LEFT ELEVATION
1/8" = 1'-0"



3 RIGHT ELEVATION
1/8" = 1'-0"

2023-033 S P r 03 D R d P
 rd 23- S P S-3

Exhibit 'C':
Building Elevations



GROSS SQUARE FOOTAGE: 862SF
 CONDITIONED SQUARE FOOTAGE: 598SF

2023-033 S P r 03 D R d P
 rd 23- S P S-3



CITY OF ROCKWALL

PLANNING AND ZONING COMMISSION CASE MEMO

PLANNING AND ZONING DEPARTMENT

385 S. GOLIAD STREET • ROCKWALL, TX 75087

PHONE: (972) 771-7745 • EMAIL: PLANNING@ROCKWALL.COM

TO: Planning and Zoning Commission
DATE: August 15, 2023
APPLICANT: Richard Expo
CASE NUMBER: Z2023-036; *Specific Use Permit (SUP) for a Carport at 820 E. Heath Street*

SUMMARY

Hold a public hearing to discuss and consider a request by Richard Expo on behalf of Ryszard Waszczuk for the approval of a Specific Use Permit (SUP) for a *Carport* that does not meet the minimum requirements on an 0.3492-acre parcel of land identified as Lot 7, Block A, Solar Village Addition, City of Rockwall, Rockwall County, Texas, zoned Single-Family 7 (SF-7) District, addressed as 820 E. Heath Street, and take any action necessary.

BACKGROUND

The subject property was annexed prior to 1934 based on the August 25, 1934 Sanborn Map. According to the City's historic zoning maps, the subject property was zoned Single-Family 3 (SF-3) District as of January 3, 1972. Based on the May 16, 1983 zoning map, this designation changed between January 4, 1972 and May 15, 1983 to Single-Family 7 (SF-7) District and has remained Single-Family 7 (SF-7) District since this change. On November 18, 2013, the City Council approved a preliminary plat [Case No. P2013-032] for the Solar Village Addition, which consists of six (6) single-family residential lots. On July 7, 2014, the City Council approved a final plat [Case No. P2014-014] for Lots 1-6, Block A., Solar Village. On May 11, 2022, a replat [Case No. P2022-022] for Lots 7-12, Block A, Solar Village was administratively approved. The purpose of this replat was to correct the state plane coordinates and update the lot areas. On February 17, 2023, a building permit [RES2023-254] was issued allowing the construction of a 6,442 SF single-family home on the subject property.

PURPOSE

The applicant -- *Richard Expo* -- is requesting the approval of a Specific Use Permit (SUP) to allow for the construction of a *Carport* that exceeds the maximum allowable square footage and does not meet the minimum setback requirements as stipulated by Subsection 07.04, *Accessory Structure Development Standards*, of Article 05, *District Development Standards*, of the Unified Development Code (UDC).

ADJACENT LAND USES AND ACCESS

The subject property is addressed as 820 Heath Street. The land uses adjacent to the subject property are as follows:

North: Directly north of the subject property is Heath Street, which is identified as a R2 (*i.e. residential, two [2] lane, undivided roadway*) on the City's Master Thoroughfare Plan contained in the OURHometown Vision 2040 Comprehensive Plan. Beyond this is one (1) single-family home (*i.e. 819 E Heath Street*), which is situated within the Hal Phelps Subdivision. This subdivision is zoned Single-Family 7 (SF-7) District and consists of 11 residential lots. Beyond this is Phase 5 of the Caruth Lakes Subdivision, which is zoned Planned Development District 5 (PD-5) and consists of 137 residential lots.

South: Directly south of the subject property is the rest of the Solar Village Subdivision, which is zoned Single-Family 7 (SF-7) District and consists of six (6) residential lots. Beyond this is Williams Street, which is identified as a *Minor Collector* on the City's Master Thoroughfare Plan contained in the OURHometown Vision 2040 Comprehensive Plan. South of this is a 5.82-acre tract of land (*i.e. Tract 50, of the R Ballard Survey, Abstract No. 29*) with a single-family home situated on it. This property is zoned Single-Family 7 (SF-7) District.

East: Directly east of the subject property is the rest of the Solar Village Subdivision, which is zoned Single-Family 7 (SF-7) District and consists of six (6) residential lots. Beyond this is Williams Street which is identified as a *Minor Collector* on the City's Master Thoroughfare Plan contained in the OURHometown Vision 2040 Comprehensive Plan. Beyond that is a 3.120-acre tract of land (*i.e. Tract 66, of the R Ballard, Abstract 29*), addressed as 940 Williams Street, and zoned Light Industrial (LI) District. The property is developed with a 2,096 SF single-family home.

West: Directly west of the subject property is the Green Meadows Subdivision, which is zoned Single-Family 7 (SF-7) District and consists of nine (9) residential lots. Beyond this is the Fondren Subdivision, which is zoned Single-Family 7 (SF-7) District and consists of 16 residential lots.

CHARACTERISTICS OF THE REQUEST

The applicant has submitted a development application, concept plan, and building elevations proposing to construct a 24-foot by 26-foot (*or 624 SF*) carport on the subject property. The proposed carport will architecturally be integrated with the existing attached garage and home, and will stand less than 14-feet in height as measured to the mid-point of the pitched roof. The proposed structure will be situated in the side yard and be a minimum of 20-feet from the side yard property line (*i.e. the eastern property line*) and a minimum of 20-feet from the front yard (*i.e. the northern*) property line even with the front façade of the single-family home.

CONFORMANCE WITH THE CITY'S CODES

According to Subsection 07.04, *Accessory Structure Development Standards*, of Article 05, *District Development Standards*, of the Unified Development Code (UDC), the Single-Family 7 (SF-7) District allows a total of one (1) carport. The maximum square footage of a carport is 500 SF. Carports are limited to a maximum height of 15-feet. The setbacks for a carport in a Single-Family 7 (SF-7) District are ten (10) feet from the rear property line and 20-feet from the alleyway. This section of the code goes on to state, "(i)n residential districts, carports must be open on at least two (2) sides, architecturally integrated into the primary structure, and be located 20-feet behind the corner of the front façade and meet the garage setback adjacent to an alley." Carports not conforming to these requirements shall require a Specific Use Permit (SUP).

STAFF ANALYSIS

In this case, the applicant's request generally conforms to the height requirements for a carport; however, the carport does not adhere to the maximum allowable size or the requirement to be located 20-feet behind the front façade in a Single-Family 7 (SF-7) District. Specifically, the carport will exceed the permitted 124 SF and the proposed carport is placed even with the front of the front façade of the home. For the purpose of comparing the proposed *Carport* with other carports in the area, staff reviewed aerial and street view images to locate similar structures. Through this analysis, staff was unable to identify any other *Carports* constructed within three (3) blocks of the subject property. Based on the proposed size and location of the accessory building, staff should point out that this structure will have high visibility from the adjacent properties along E Heath Street. With this being said, the approval of a Specific Use Permit (SUP) request is a discretionary decision for the City Council pending a recommendation from the Planning and Zoning Commission.

NOTIFICATIONS

On July 21, 2023, staff mailed 87 notices to property owners and occupants within 500-feet of the subject property. Staff also notified the Caruth Lakes Homeowner's Associations (HOAs) which was the only Homeowner's Association (HOA) within the 1,500-foot buffer participating in the Neighborhood Notification Program. Additionally, staff posted a sign on the subject property, and advertised the public hearings in the Rockwall Herald Banner as required by the Unified Development Code (UDC). At the time, staff has received one (1) notice in opposition of the request.

CONDITIONS OF APPROVAL

If the Planning and Zoning Commission chooses to recommend approval of the applicant's request for a Specific Use Permit (SUP) for a Carport, then staff would propose the following conditions of approval:

- (1) The applicant shall be responsible for maintaining compliance with the operational conditions contained in the Specific Use Permit (SUP) ordinance and which are detailed as follows:
 - (a) The carport shall maintain conformance to the approved site plan and building elevations depicted in *Exhibits 'A' & 'B'* of the Specific Use Permit (SUP) ordinance.
 - (b) The carport shall not exceed a maximum size of 625 SF.
 - (c) The carport shall not exceed a maximum overall height of 17-feet.
 - (d) The carport is subject to administrative review in the event that the *Subject Property* is sold, conveyed or altered in any manner.
- (2) Any construction resulting from the approval of this Specific Use Permit (SUP) shall conform to the requirements set forth by the Unified Development Code (UDC), the International Building Code (IBC), the Rockwall Municipal Code of Ordinances, city adopted engineering and fire codes and with all other applicable regulatory requirements administered and/or enforced by the state and federal government.



DEVELOPMENT APPLICATION

City of Rockwall
Planning and Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087

STAFF USE ONLY

PLANNING & ZONING CASE NO. _____

NOTE: THE APPLICATION IS NOT CONSIDERED ACCEPTED BY THE CITY UNTIL THE PLANNING DIRECTOR AND CITY ENGINEER HAVE SIGNED BELOW.

DIRECTOR OF PLANNING: _____

CITY ENGINEER: _____

PLEASE CHECK THE APPROPRIATE BOX BELOW TO INDICATE THE TYPE OF DEVELOPMENT REQUEST (SELECT ONLY ONE BOX):

PLATTING APPLICATION FEES:

- MASTER PLAT (\$100.00 + \$15.00 ACRE)¹
- PRELIMINARY PLAT (\$200.00 + \$15.00 ACRE)¹
- FINAL PLAT (\$300.00 + \$20.00 ACRE)¹
- REPLAT (\$300.00 + \$20.00 ACRE)¹
- AMENDING OR MINOR PLAT (\$150.00)
- PLAT REINSTATEMENT REQUEST (\$100.00)

SITE PLAN APPLICATION FEES:

- SITE PLAN (\$250.00 + \$20.00 ACRE)¹
- AMENDED SITE PLAN/ELEVATIONS/LANDSCAPING PLAN (\$100.00)

ZONING APPLICATION FEES:

- ZONING CHANGE (\$200.00 + \$15.00 ACRE)¹
- SPECIFIC USE PERMIT (\$200.00 + \$15.00 ACRE)^{1 & 2}
- PD DEVELOPMENT PLANS (\$200.00 + \$15.00 ACRE)¹

OTHER APPLICATION FEES:

- TREE REMOVAL (\$75.00)
- VARIANCE REQUEST/SPECIAL EXCEPTIONS (\$100.00)²

NOTES:

¹: IN DETERMINING THE FEE, PLEASE USE THE EXACT ACREAGE WHEN MULTIPLYING BY THE PER ACRE AMOUNT. FOR REQUESTS ON LESS THAN ONE ACRE, ROUND UP TO ONE (1) ACRE.
²: A \$1,000.00 FEE WILL BE ADDED TO THE APPLICATION FEE FOR ANY REQUEST THAT INVOLVES CONSTRUCTION WITHOUT OR NOT IN COMPLIANCE TO AN APPROVED BUILDING PERMIT.

PROPERTY INFORMATION [PLEASE PRINT]

ADDRESS

820 E Heath St.

SUBDIVISION

Solar Village

LOT

1

BLOCK

A

GENERAL LOCATION

ZONING, SITE PLAN AND PLATTING INFORMATION [PLEASE PRINT]

CURRENT ZONING

CURRENT USE

PROPOSED ZONING

PROPOSED USE

ACREAGE

LOTS [CURRENT]

LOTS [PROPOSED]

- SITE PLANS AND PLATS:** BY CHECKING THIS BOX YOU ACKNOWLEDGE THAT DUE TO THE PASSAGE OF HB3167 THE CITY NO LONGER HAS FLEXIBILITY WITH REGARD TO ITS APPROVAL PROCESS, AND FAILURE TO ADDRESS ANY OF STAFF'S COMMENTS BY THE DATE PROVIDED ON THE DEVELOPMENT CALENDAR WILL RESULT IN THE DENIAL OF YOUR CASE.

OWNER/APPLICANT/AGENT INFORMATION [PLEASE PRINT/CHECK THE PRIMARY CONTACT/ORIGINAL SIGNATURES ARE REQUIRED]

OWNER

Richard Expo

APPLICANT

CONTACT PERSON

RYSZARD WASZCZUK

CONTACT PERSON

ADDRESS

838 Nash St.

ADDRESS

CITY, STATE & ZIP

Rockwall, TX. 75087

CITY, STATE & ZIP

PHONE

972-400-8047

PHONE

E-MAIL

Richardexpo@hotmail.com

E-MAIL

NOTARY VERIFICATION [REQUIRED]

BEFORE ME, THE UNDERSIGNED AUTHORITY, ON THIS DAY PERSONALLY APPEARED RYSZARD WASZCZUK (OWNER) THE UNDERSIGNED, WHO STATED THE INFORMATION ON THIS APPLICATION TO BE TRUE AND CERTIFIED THE FOLLOWING:

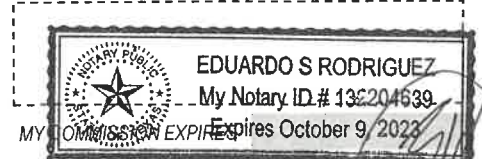
"I HEREBY CERTIFY THAT I AM THE OWNER FOR THE PURPOSE OF THIS APPLICATION; ALL INFORMATION SUBMITTED HEREIN IS TRUE AND CORRECT; AND THE APPLICATION FEE OF \$ 215.00 TO COVER THE COST OF THIS APPLICATION, HAS BEEN PAID TO THE CITY OF ROCKWALL ON THIS THE 14th DAY OF July, 2023 BY SIGNING THIS APPLICATION, I AGREE THAT THE CITY OF ROCKWALL (I.E. "CITY") IS AUTHORIZED AND PERMITTED TO PROVIDE INFORMATION CONTAINED WITHIN THIS APPLICATION TO THE PUBLIC. THE CITY IS ALSO AUTHORIZED AND PERMITTED TO REPRODUCE ANY COPYRIGHTED INFORMATION SUBMITTED IN CONJUNCTION WITH THIS APPLICATION, IF SUCH REPRODUCTION IS ASSOCIATED OR IN RESPONSE TO A REQUEST FOR PUBLIC INFORMATION."

GIVEN UNDER MY HAND AND SEAL OF OFFICE ON THIS THE 14th DAY OF July, 2023

OWNER'S SIGNATURE

[Signature]


NOTARY PUBLIC IN AND FOR THE STATE OF TEXAS





Z2023-036: Specific Use Permit for a Carport at 820 E. Heath Street



Case Location Map = 



City of Rockwall

Planning & Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087
(P): (972) 771-7745
(W): www.rockwall.com

The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.

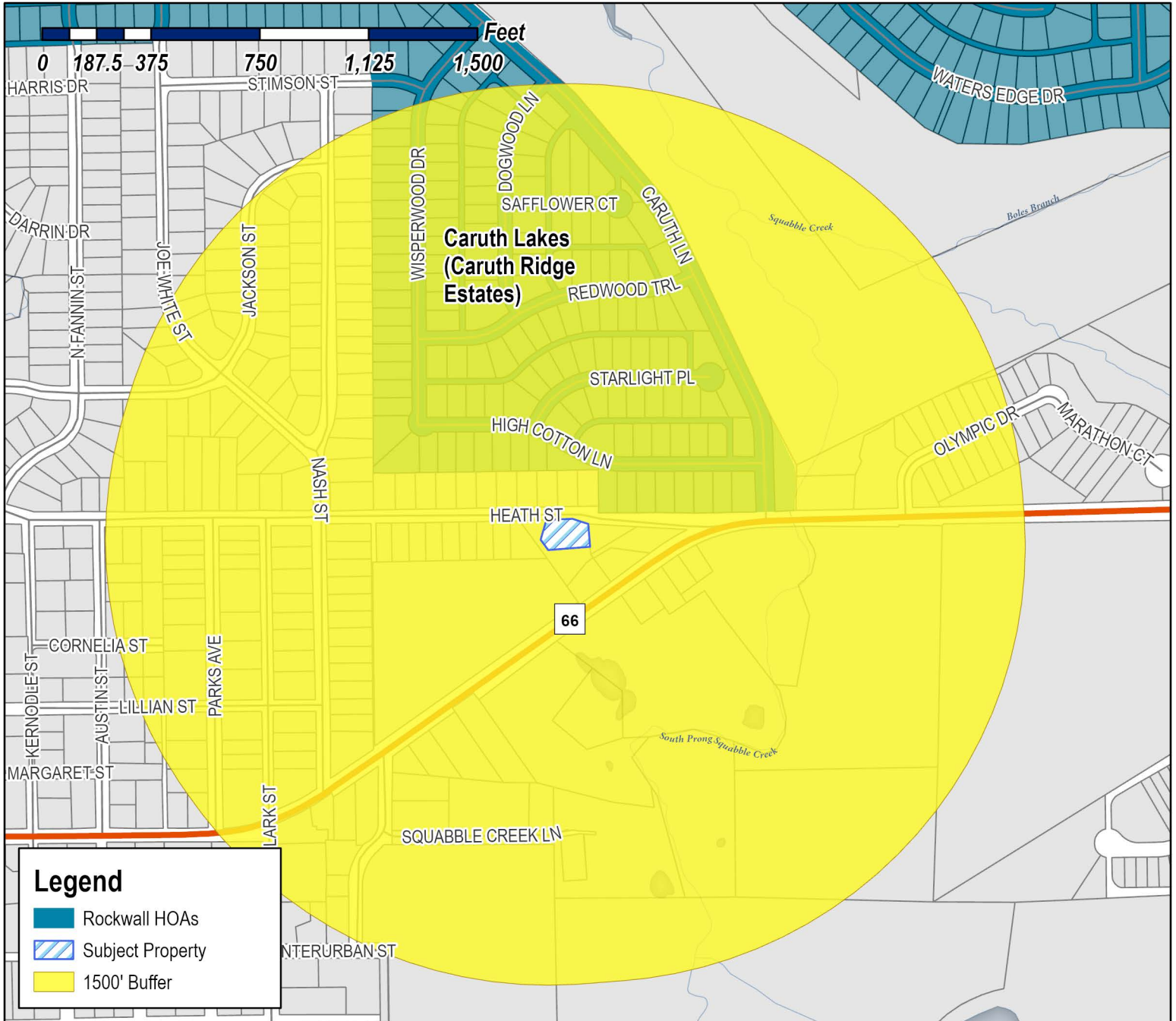




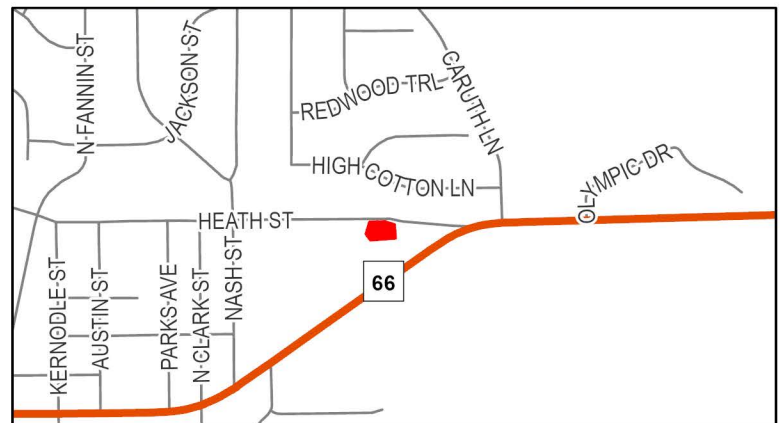
City of Rockwall

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Case Number: Z2023-036
Case Name: SUP for a Carport
Case Type: Zoning
Zoning: Single-Family 7 (SF-7) District
Case Address: 820 E. Heath Street



Date Saved: 7/14/2023

For Questions on this Case Call (972) 771-7745

Ross, Bethany

From: Zavala, Melanie
Sent: Wednesday, July 19, 2023 9:06 AM
Cc: Miller, Ryan; Ross, Bethany; Guevara, Angelica; Lee, Henry
Subject: Neighborhood Notification Program [Z2023-036]
Attachments: Public Notice (P&Z) (7.17.2023).pdf; HOA Map (07.14.2023).pdf

HOA/Neighborhood Association Representative:

Per your participation in the *Neighborhood Notification Program*, you are receiving this notice to inform your organization that a zoning case has been filed with the City of Rockwall that is located within 1,500-feet of the boundaries of your neighborhood. As the contact listed for your organization, you are encouraged to share this information with the residents of your subdivision. Please find the attached map detailing the property requesting to be rezoned in relation to your subdivision boundaries. Additionally, below is the summary of the zoning case that will be published in the Rockwall Herald Banner on *July 21, 2023*. The Planning and Zoning Commission will hold a public hearing on *Tuesday, August 15, 2023 at 6:00 PM*, and the City Council will hold a public hearing on *Monday, August 21, 2023 at 6:00 PM*. Both hearings will take place at 6:00 PM at City Hall, 385 S. Goliad, Rockwall, TX 75087.

All interested parties are encouraged to submit public comments via email to Planning@rockwall.com at least 30 minutes in advance of the meeting. Please include your name, address, and the case number your comments are referring to. These comments will be read into the record during each of the public hearings. Additional information on all current development cases can be found on the City's website: <https://sites.google.com/site/rockwallplanning/development/development-cases>.

Z2023-036: SUP for a Carport

Hold a public hearing to discuss and consider a request by Richard Expo on behalf of Ryszard Waszczuk for the approval of a *Specific Use Permit (SUP)* for a *Carport* that does not meet the minimum requirements on an 0.3492-acre parcel of land identified as Lot 7, Block A, Solar Village Addition, City of Rockwall, Rockwall County, Texas, zoned Single-Family 7 (SF-7) District, addressed as 820 E. Heath Street, and take any action necessary.

Thank you,

Melanie Zavala

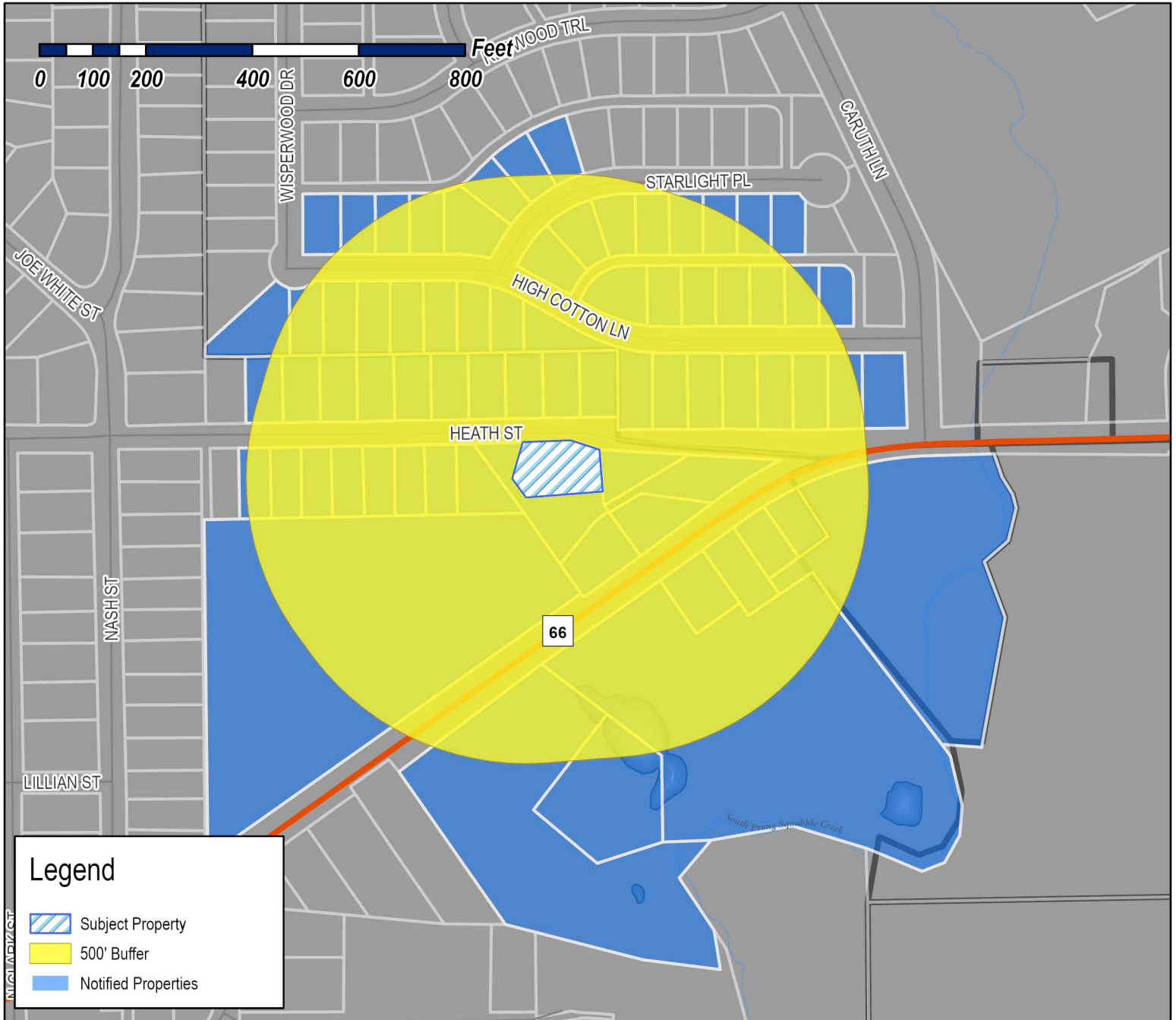
Planning & Zoning Coordinator | Planning Dept. | City of Rockwall
385 S. Goliad Street | Rockwall, TX 75087
<http://www.rockwall.com/>
972-771-7745 Ext. 6568



City of Rockwall

Planning & Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087
(P): (972) 771-7745
(W): www.rockwall.com

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Case Number: Z2023-036
Case Name: SUP for a Carport
Case Type: Zoning
Zoning: Single-Family 7 (SF-7) District
Case Address: 820 E. Heath Street



Date Saved: 7/14/2023

For Questions on this Case Call: (972) 771-7746

KINDELL GROUP LLC
1 TABER LANE
ROCKWALL, TX 75087

RESIDENT
1001 STARLIGHT PL
ROCKWALL, TX 75087

RESIDENT
1002 HIGH COTTON LN
ROCKWALL, TX 75087

ADAMS JOHNNY R JR & JEANNE K
1005 HIGH COTTON LN
ROCKWALL, TX 75087

RESIDENT
1007 STARLIGHT PL
ROCKWALL, TX 75087

SPENCE JODY L
1010 HIGH COTTON LN
ROCKWALL, TX 75087

KINSELLA ERIC P & CARLA J
1011 HIGH COTTON LN
ROCKWALL, TX 75087

RUST WILLIAM KA ND TERRI DAWN
1013 STARLIGHT PL
ROCKWALL, TX 75087

JENNINGS RICHARD
1016 HIGH COTTON LN
ROCKWALL, TX 75087

LAMBERT MILDRED L & NORMAN R
1017 HIGH COTTON LN
ROCKWALL, TX 75087

WIENBARG KIMBERLY
1019 STARLIGHT
ROCKWALL, TX 75087

HEIN KYLE G & VERONICA L
1022 HIGH COTTON LN
ROCKWALL, TX 75087

WOODS WILLIAM & RITA
1023 HIGH COTTON LN
ROCKWALL, TX 75087

JARESH DONALD & COLETTE
1025 STARLIGHT PL
ROCKWALL, TX 75087

PRESLEY DELISA & RANDALL
1028 HIGH COTTON LANE
ROCKWALL, TX 75087

SINGH GURDARSHAN AND PARAMJIT SINGH
1029 HIGH COTTON LN
ROCKWALL, TX 75087

BAKER CHRISTOPHER MILLER AND MONICA
NAHIR
1031 STARLIGHT PL
ROCKWALL, TX 75087

BASHAM TOMMY & JAMIE
1034 HIGH COTTON LN
ROCKWALL, TX 75087

KEGLEY SCOTT
1035 HIGH COTTON LN
ROCKWALL, TX 75087

JOHNSON ROBERT AND
VIRGINIA LEE
1040 HIGH COTTON LN
ROCKWALL, TX 75087

GAJEWSKI MISTY
1041 HIGH COTTON LANE
ROCKWALL, TX 75087

BACK STACY ANN & CHARLES BACK JR
1049 HIGH COTTON LANE
ROCKWALL, TX 75087

HOPEWELL MARILYN E
1056 WISPERWOOD DR
ROCKWALL, TX 75087

SWH 2017-1 BORROWER LP
1131 W WARNER RD STE 102
TEMPE, AZ 85284

HPA TEXAS SUB 2017-1 LLC
120 S RIVERSIDE PLZ STE 2000
CHICAGO, IL 60606

HPA BORROWER 2018-1 MS LLC
120 S RIVERSIDE PLZ STE 2000
CHICAGO, IL 60606

ROCKWALL ENTERPRISES LLC
1309 MORAINNE PL
HEATH, TX 75032

DORAZIO RICHARD & SHARON LIVING TRUST
RICHARD A & SHARON L DORAZIO TRUSTEES
143 SHEPHERDS GLEN RD
HEATH, TX 75032

SHUGART MELODY S
1511 FT DUQUESNA DR
SUN CITY CENTER, FL 33573

2019-1 IH BORROWER LP
1717 MAIN SST SUITE 2000
DALLAS, TX 75201

THE BRANCH OFFICE PROPERTIES LLC
25 NOBLE CT
HEATH, TX 75032

HOLLAND PAUL
2534 CR 3419
HAWKINS, TX 75765

R FIFTY GREEN HOMES
2704 FOXCHASE LN
ROCKWALL, TX 75032

CAS INVESTMENT PROPERTIES LLC- SERIES 809
HEATH
521 WILLOW SPRINGS DR.
HEATH, TX 75032

TAYLOR WANDA
803 E HEATH ST
ROCKWALL, TX 75087

BROWN REBECCA AND THOMAS
804 E HEATH ST
ROCKWALL, TX 75087

KRUEGER CHARLES H & JENNY L
805 E HEATH ST
ROCKWALL, TX 75087

CONLEY JANONA & THOMAS J
806 E. HEATH ST
ROCKWALL, TX 75087

MOHEDANO MARTIN
807 E HEATH ST
ROCKWALL, TX 75087

RESIDENT
808 E HEATH ST
ROCKWALL, TX 75087

RESIDENT
809 E HEATH ST
ROCKWALL, TX 75087

RESIDENT
810 E HEATH ST
ROCKWALL, TX 75087

WARDELL LUKE A
811 E HEATH ST
ROCKWALL, TX 75087

KINSEY HILLARY
812 EAST HEATH STREET
ROCKWALL, TX 75087

GULLEY STAN LAVERE ETUX
813 E HEATH ST
ROCKWALL, TX 75087

RESIDENT
814 E HEATH ST
ROCKWALL, TX 75087

HODGES BRIAN CODY & CHRISTY MICHELLE
815 E HEATH ST
ROCKWALL, TX 75087

NICHOLS CORY
816 E HEATH ST
ROCKWALL, TX 75087

RODRIGUEZ PAULA CANDACE
817 E HEATH STREET
ROCKWALL, TX 75087

RESIDENT
818 E HEATH ST
ROCKWALL, TX 75087

MOORE MIRIAM
819 E HEATH ST
ROCKWALL, TX 75087

RESIDENT
820 HEATH ST
ROCKWALL, TX 75087

RESIDENT
821 E HEATH ST
ROCKWALL, TX 75087

RESIDENT
824 HEATH ST
ROCKWALL, TX 75087

RESIDENT
828 HEATH ST
ROCKWALL, TX 75087

RESIDENT
832 WILLIAMS ST
ROCKWALL, TX 75087

RANDALL ROBERT S & SHERY B
835 HIGH COTTON LN
ROCKWALL, TX 75087

RESIDENT
836 HEATH ST
ROCKWALL, TX 75087

RESIDENT
840 HEATH ST
ROCKWALL, TX 75087

DOTSON DUNCAN L & DOLORES J
841 HIGH COTTON LN
ROCKWALL, TX 75087

MINCE RANDY JOE & RHONDA LYNN
844 HIGH COTTON LN
ROCKWALL, TX 75087

WEAVER BONNIE & SCOTT
847 HIGH COTTON LN
ROCKWALL, TX 75087

CHUNG WON S & HYE Y
850 HIGH COTTON LN
ROCKWALL, TX 75087

MEYER LANEY AND RANDAL
853 HIGH COTTON LANE
ROCKWALL, TX 75087

LAIN JACOB & SARAH
856 HIGH COTTON LANE
ROCKWALL, TX 75087

CLEMENT MICHAEL BRENT
859 HIGH COTTON LANE
ROCKWALL, TX 75087

COTTI MICHAEL A
862 HIGH COTTON LANE
ROCKWALL, TX 75087

RESIDENT
865 HIGH COTTON LN
ROCKWALL, TX 75087

MCKNIGHT SCOTT A & KAY A
871 HIGH COTTON LN
ROCKWALL, TX 75087

MCKINNEY ROBERT A & JENNIFER J
877 HIGH COTTON LN
ROCKWALL, TX 75087

RESIDENT
901 WILLIAMS ST
ROCKWALL, TX 75087

TATE NATHAN A AND LAURA S AND
DARLENE SINGLETON
928 WILLIAMS ST
ROCKWALL, TX 75087

SINGLETON ROY LEE SR & LINDA D
930 WILLIAMS ST
ROCKWALL, TX 75087

CANTRELL JANET SUE
932 WILLIAMS ST
ROCKWALL, TX 75087

SAKOLEVIDIS DESTINY AND JOHN COOK JR
934 WILLIAMS ST
ROCKWALL, TX 75087

RESIDENT
936 WILLIAMS ST
ROCKWALL, TX 75087

SANCHEZ RAQUEL
938 WILLIAMS STREET
ROCKWALL, TX 75087

SPILLMAN JAMES T
940 WILLIAMS ST
ROCKWALL, TX 75087

HILL HEATH D & JENNIFER S
974 STARLIGHT PL
ROCKWALL, TX 75087

SHARP MARCUS & STELLA
980 STARLIGHT PL
ROCKWALL, TX 75087

RESIDENT
983 STARLIGHT PL
ROCKWALL, TX 75087

KEIFER R MATTHEW & KRISTEN C
986 STARLIGHT PL
ROCKWALL, TX 75087

RESIDENT
991 STARLIGHT PL
ROCKWALL, TX 75087

POMROY SHAWN AND PATRICIA
992 STARLIGHT PL
ROCKWALL, TX 75087

GRANBERRY EDITH
M/R
, TX 75087

CARUTH RIDGE EST HOMEOWNERS ASSOC INC
C/O GOODWIN MANAGEMENT, INC.
PO BOX 203310
AUSTIN, TX 78720

ROCKWALL ASSEMBLY OF GOD
C/O DAVID SPIEGEL
PO BOX 33
ROCKWALL, TX 75087

PUBLIC NOTICE



CITY OF ROCKWALL
PLANNING AND ZONING DEPARTMENT
PHONE: (972) 771-7745
EMAIL: PLANNING@ROCKWALL.COM

Property Owner and/or Resident of the City of Rockwall:

You are hereby notified that the City of Rockwall Planning and Zoning Commission and City Council will consider the following application:

Z2023-036: SUP for a Carport

Hold a public hearing to discuss and consider a request by Richard Expo on behalf of Ryszard Waszczuk for the approval of a Specific Use Permit (SUP) for a Carport that does not meet the minimum requirements on an 0.3492-acre parcel of land identified as Lot 7, Block A, Solar Village Addition, City of Rockwall, Rockwall County, Texas, zoned Single-Family 7 (SF-7) District, addressed as 820 E. Heath Street, and take any action necessary.

For the purpose of considering the effects of such a request, the Planning and Zoning Commission will hold a public hearing on Tuesday, August 15, 2023 at 6:00 PM, and the City Council will hold a public hearing on Monday, August 21, 2023 at 6:00 PM. These hearings will be held in the City Council Chambers at City Hall, 385 S. Goliad Street.

As an interested property owner, you are invited to attend these meetings. If you prefer to express your thoughts in writing please return the form to:

Bethany Ross
Rockwall Planning and Zoning Dept.
385 S. Goliad Street
Rockwall, TX 75087

You may also email your comments to the Planning Department at planning@rockwall.com. If you choose to email the Planning Department please include your name and address for identification purposes.

Your comments must be received by Monday, August 21, 2023 at 4:00 PM to ensure they are included in the information provided to the City Council.

Sincerely,

Ryan Miller, AICP
Director of Planning & Zoning



MORE INFORMATION ON THIS CASE CAN BE FOUND AT: <https://sites.google.com/site/rockwallplanning/development/development-cases>

PLEASE RETURN THE BELOW FORM

Case No. Z2023-036: SUP for a Carport

Please place a check mark on the appropriate line below:

- I am in favor of the request for the reasons listed below.
- I am opposed to the request for the reasons listed below.

Name:

Address:

Tex. Loc. Gov. Code, Sec. 211.006 (d) If a proposed change to a regulation or boundary is protested in accordance with this subsection, the proposed change must receive, in order to take effect, the affirmative vote of at least three-fourths of all members of the governing body. The protest must be written and signed by the owners of at least 20 percent of either: (1) the area of the lots or land covered by the proposed change; or (2) the area of the lots or land immediately adjoining the area covered by the proposed change and extending 200 feet from that area.

PLEASE SEE LOCATION MAP OF SUBJECT PROPERTY ON THE BACK OF THIS NOTICE

PUBLIC NOTICE



CITY OF ROCKWALL
PLANNING AND ZONING DEPARTMENT
PHONE: (972) 771-7745
EMAIL: PLANNING@ROCKWALL.COM

Property Owner and/or Resident of the City of Rockwall:

You are hereby notified that the City of Rockwall Planning and Zoning Commission and City Council will consider the following application:

Z2023-036: SUP for a Carport

Hold a public hearing to discuss and consider a request by Richard Expo on behalf of Ryszard Waszczuk for the approval of a Specific Use Permit (SUP) for a Carport that does not meet the minimum requirements on an 0.3492-acre parcel of land identified as Lot 7, Block A, Solar Village Addition, City of Rockwall, Rockwall County, Texas, zoned Single-Family 7 (SF-7) District, addressed as 820 E. Heath Street, and take any action necessary.

For the purpose of considering the effects of such a request, the Planning and Zoning Commission will hold a public hearing on Tuesday, August 15, 2023 at 6:00 PM, and the City Council will hold a public hearing on Monday, August 21, 2023 at 6:00 PM. These hearings will be held in the City Council Chambers at City Hall, 385 S. Goliad Street.

As an interested property owner, you are invited to attend these meetings. If you prefer to express your thoughts in writing please return the form to:

Bethany Ross
Rockwall Planning and Zoning Dept.
385 S. Goliad Street
Rockwall, TX 75087

You may also email your comments to the Planning Department at planning@rockwall.com. If you choose to email the Planning Department please include your name and address for identification purposes.

Your comments must be received by Monday, August 21, 2023 at 4:00 PM to ensure they are included in the information provided to the City Council.

Sincerely,

Ryan Miller, AICP
Director of Planning & Zoning

USE THIS QR CODE
TO GO DIRECTLY
TO THE WEBSITE



MORE INFORMATION ON THIS CASE CAN BE FOUND AT: <https://sites.google.com/site/rockwallplanning/development/development-cases>

----- PLEASE RETURN THE BELOW FORM -----

Case No. Z2023-036: SUP for a Carport

Please place a check mark on the appropriate line below:

I am in favor of the request for the reasons listed below.

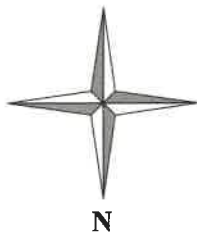
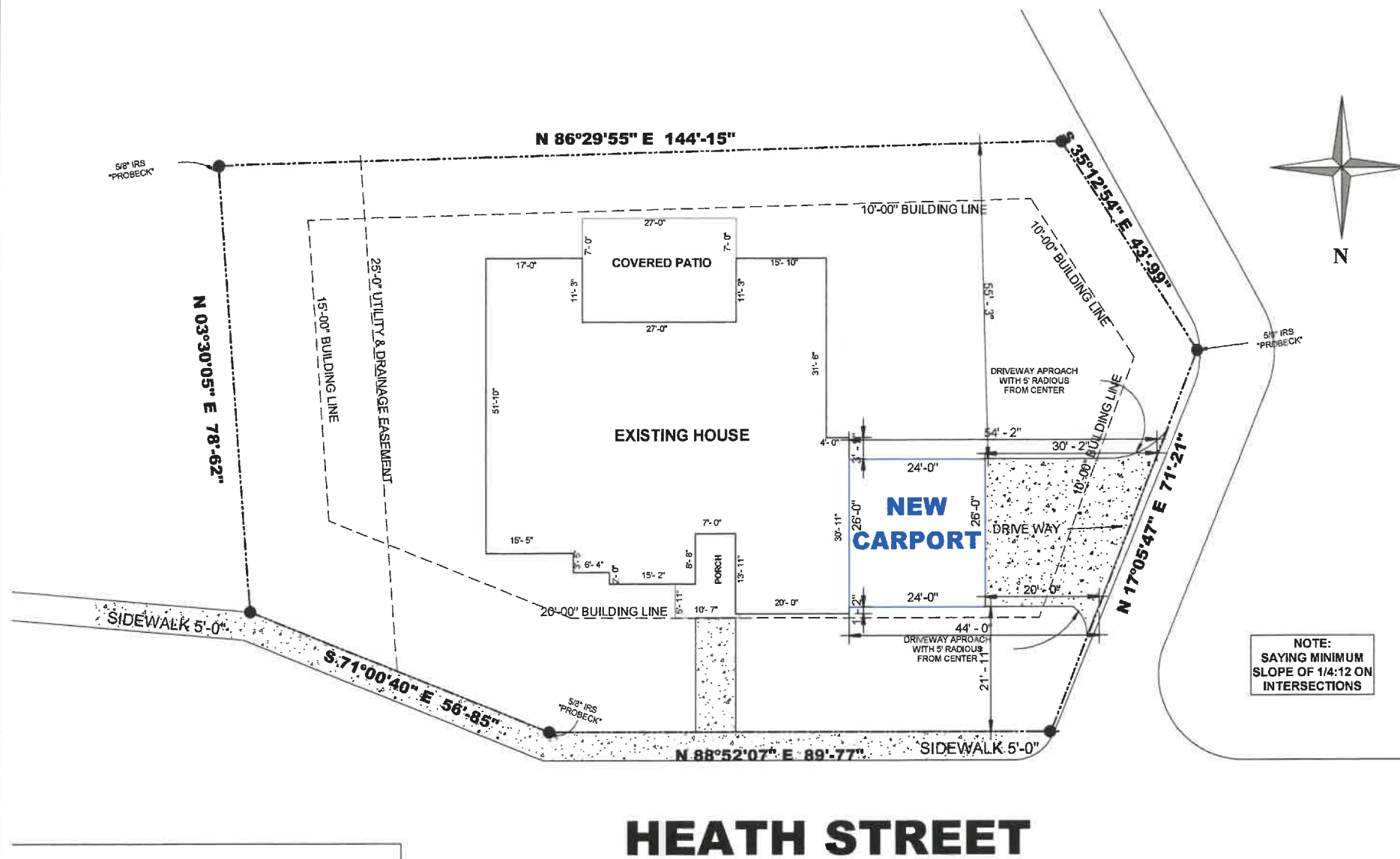
I am opposed to the request for the reasons listed below.

the area is already to crowded
and town zoned it for a reason

Name: Patricia Penroy
Address: 972 Starlight PL 75087

Tex. Loc. Gov. Code, Sec. 211.006 (d). If a proposed change to a regulation or boundary is protested in accordance with this subsection, the proposed change must receive, in order to take effect, the affirmative vote of at least three-fourths of all members of the governing body. The protest must be written and signed by the owners of at least 20 percent of either: (1) the area of the lots or land covered by the proposed change; or (2) the area of the lots or land immediately adjoining the area covered by the proposed change and extending 200 feet from that area.

PLEASE SEE LOCATION MAP OF SUBJECT PROPERTY ON THE BACK OF THIS NOTICE



VICINITY MAP

820 E HEATH ST
ROCKWALL, TX 75087

EXISTING HOUSE	3,681.5 SG/FT
NEW CARPORT	624 SG/FT
TOTAL NEW CONSTRUCTION	624 SG/FT
LOT AREA	0.3492 ACRES

NOTE:
SAYING MINIMUM
SLOPE OF 1/4:12 ON
INTERSECTIONS

1 Site Plan
1/16" = 1'-0"

HEATH STREET



THESE PLANS ARE INTENDED TO PROVIDE BASIC CONSTRUCTION INFORMATION NECESSARY TO SUBSTANTIALLY BUILD THE STRUCTURE. THESE PLANS MUST BE REVISIONS AND CHECKED BY THE BUILDER, HOMEOWNER, AND ALL CONTRACTORS OF THE JOB PRIOR TO CONSTRUCTION. BUILDER SHOULD OBTAIN COMPLETE ENGINEERING SERVICES, PERMITS, AND STRUCTURAL BEFORE BEGINNING CONSTRUCTION OF ANY WORK. NOTE: ALL FEDERAL, STATE, AND LOCAL CODES AND RESTRICTIONS TAKE PRECEDENCE OVER ANY PART OF THESE PLANS.

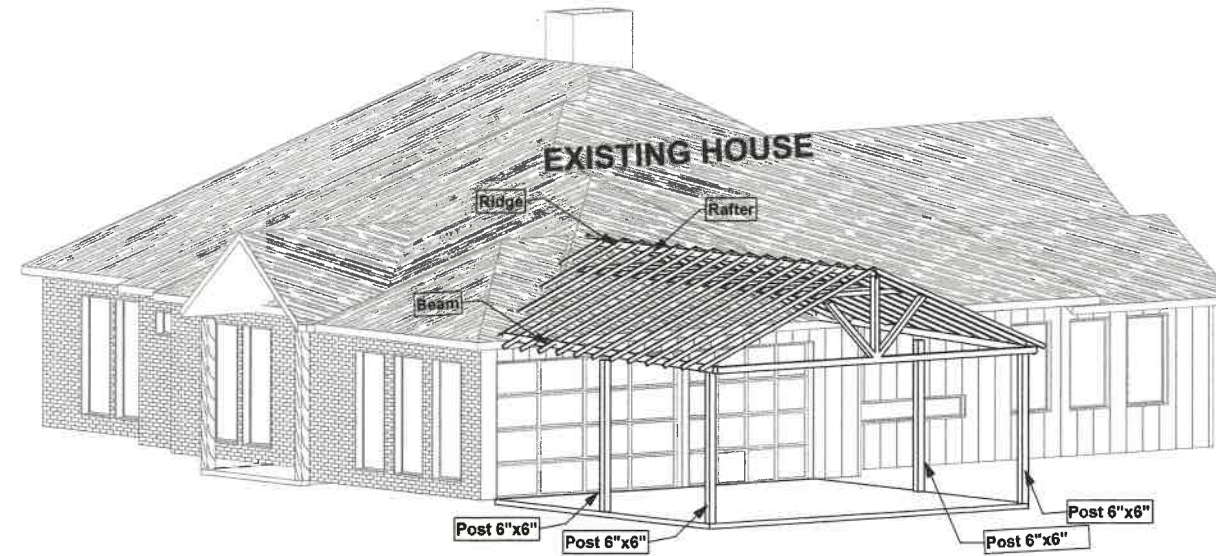
GREAT CARE AND EFFORT HAVE GONE INTO THE CREATION OF THESE BLUEPRINTS. HOWEVER, BECAUSE OF THE VARIANCE IN GEOGRAPHIC LOCATIONS, WE WILL NOT ASSUME LIABILITY FOR ANY DAMAGES DUE TO ERRORS, OMISSIONS, OR REVISIONS ON THESE PLANS. OWNER/BUILDER MUST COMPLY WITH LOCAL BUILDING CODES PRIOR TO COMMENCEMENT OF CONSTRUCTION. THE PURCHASE OF THESE PLANS ENTITLES THE BUYER TO CONSTRUCT THIS HOUSE ONLY ONCE. ANY COPIES, TRACES, OR ALTERATIONS OF THESE PLANS IS NOT PERMITTED. VIOLATORS WILL BE SUBJECT TO PROSECUTION UNDER COPYRIGHT LAWS.

Project Name & Address
820 E HEATH ST
ROCKWALL, TX 75087

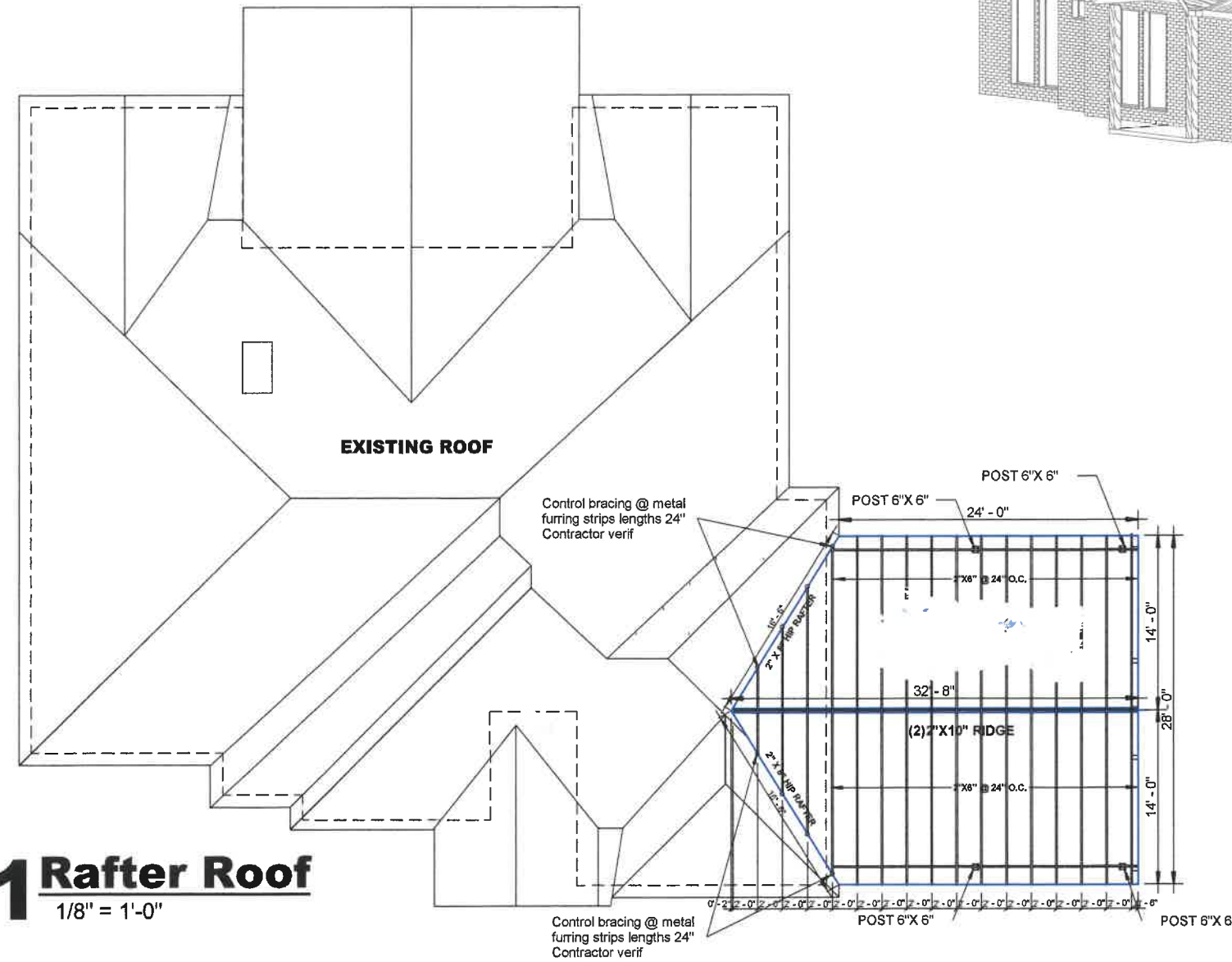
Legal Description
LOT 7

SITE PLAN	
Project number:	
Date:	6/23/2023
Scale:	1/16" = 1'-0"
Drawn by: Projects & Construction Araque	

1



2 Framing Carport



1 Rafter Roof

1/8" = 1'-0"



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Project Name & Address

820 E HEATH ST
ROCKWALL, TX 75087

Legal Description

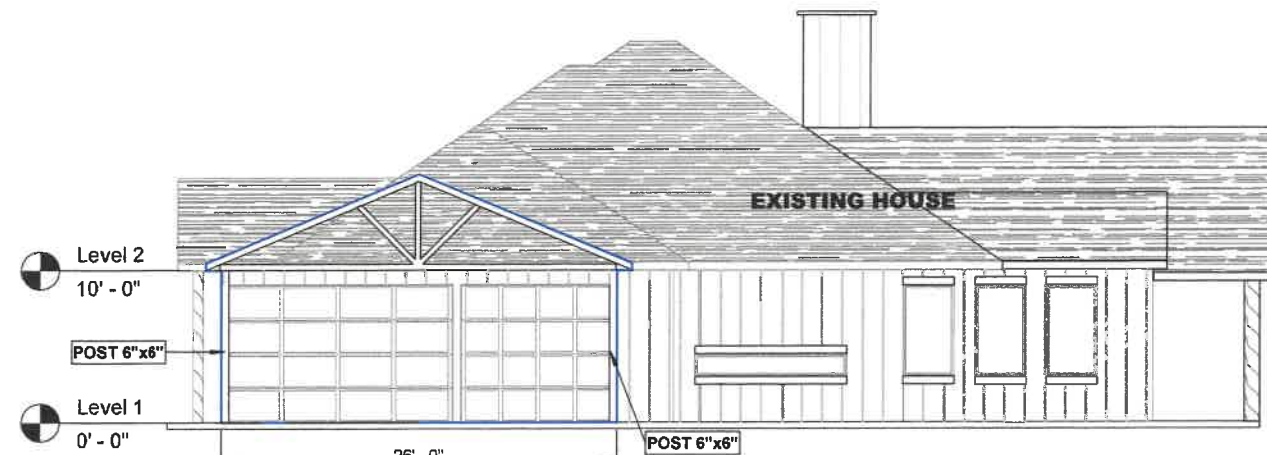
LOT 7

RAFTER ROOF

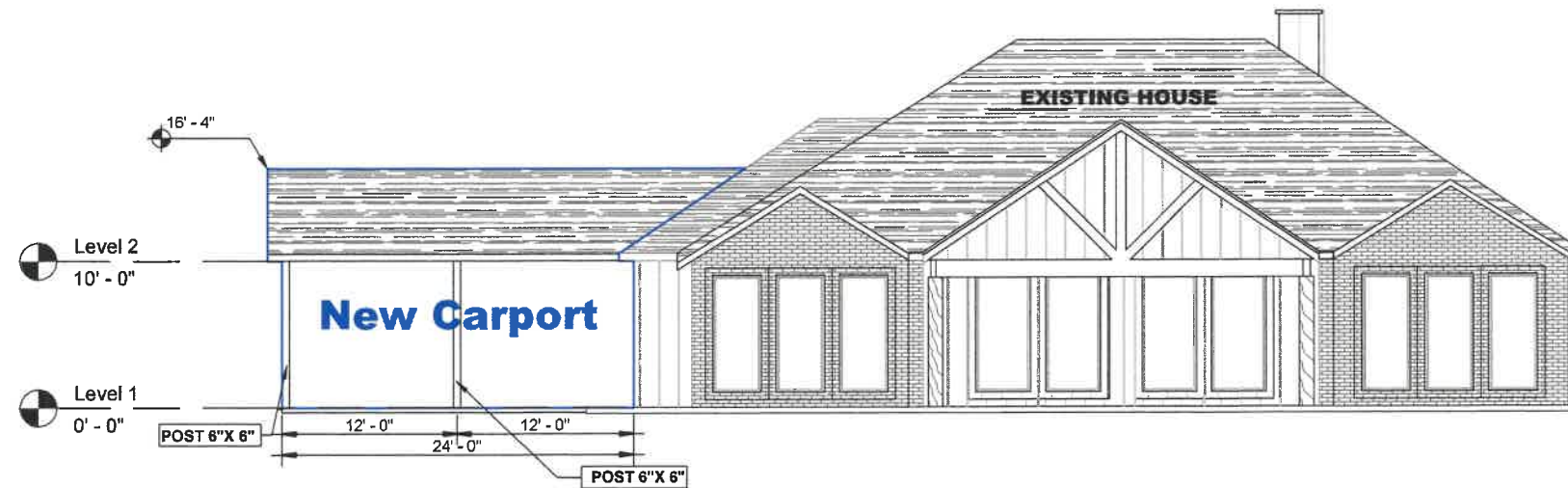
Project number:

Date: 6/23/2023 Scale 1/8" = 1'-0"

Drawn by: Projects & Construction Araque



1 Front Elevation
1/8" = 1'-0"



2 Right Elevation
1/8" = 1'-0"



3 Left Elevation
1/8" = 1'-0"



THESE PLANS ARE INTENDED TO PROVIDE BASIC CONSTRUCTION INFORMATION NECESSARY TO SUBSTANTIALLY BUILD THIS STRUCTURE. THESE PLANS MUST BE VERIFIED AND CHECKED BY THE BUILDER, HOMEOWNER, AND ALL CONTRACTORS OF THIS JOB PRIOR TO CONSTRUCTION. BUILDER SHOULD OBTAIN COMPLETE ENGINEERING SERVICES, FOUND AND STRUCTURAL, BEFORE BEGINNING CONSTRUCTION OF ANY FOOTING. NOTE ALL FEDERAL, STATE, AND LOCAL CODES AND RESTRICTIONS TAKE PRECEDENCE OVER ANY PART OF THESE PLANS.

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Project Name & Address

820 E HEATH ST
ROCKWALL, TX 75087

Legal Description

LOT 7

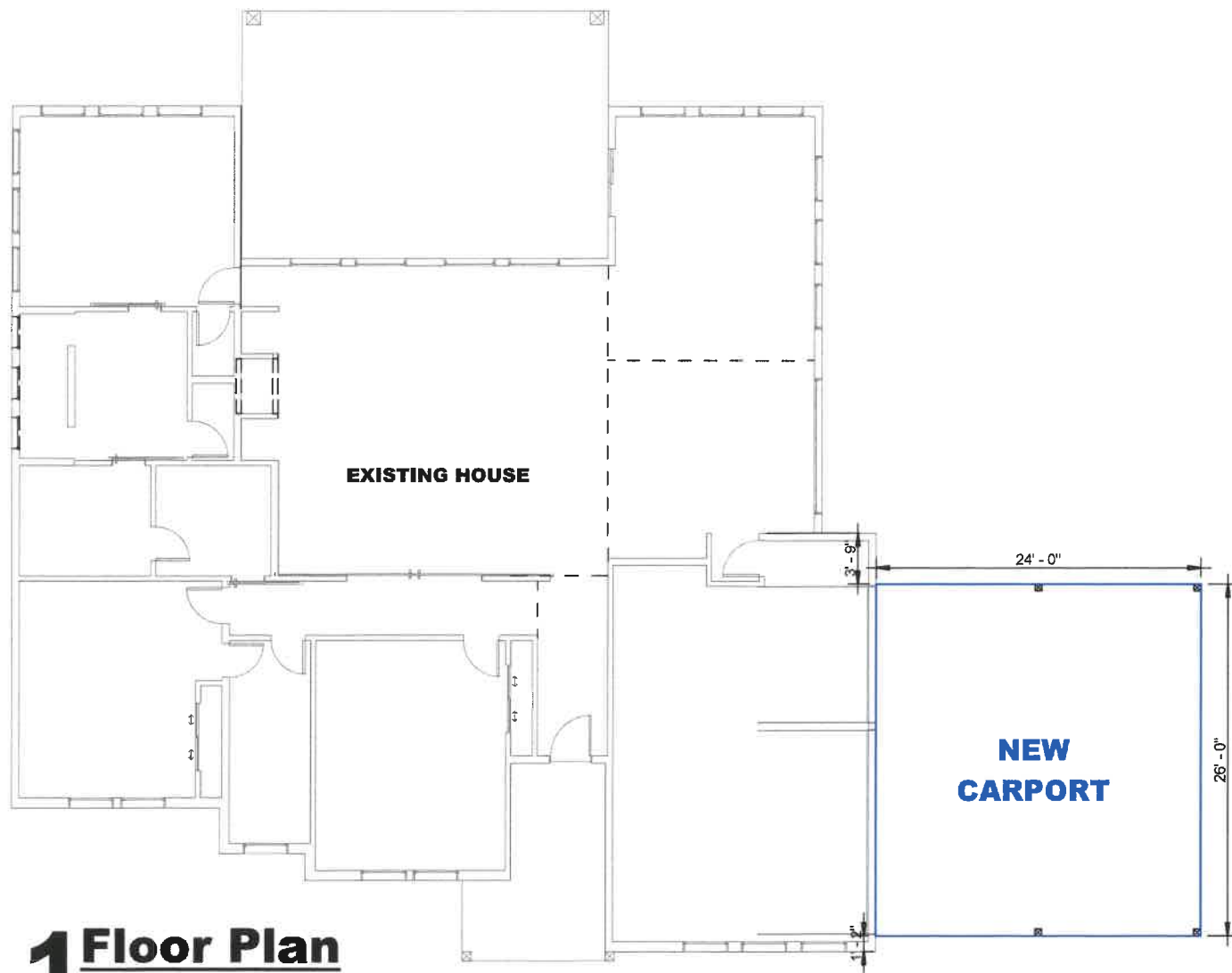
ELEVATIONS

Project number:

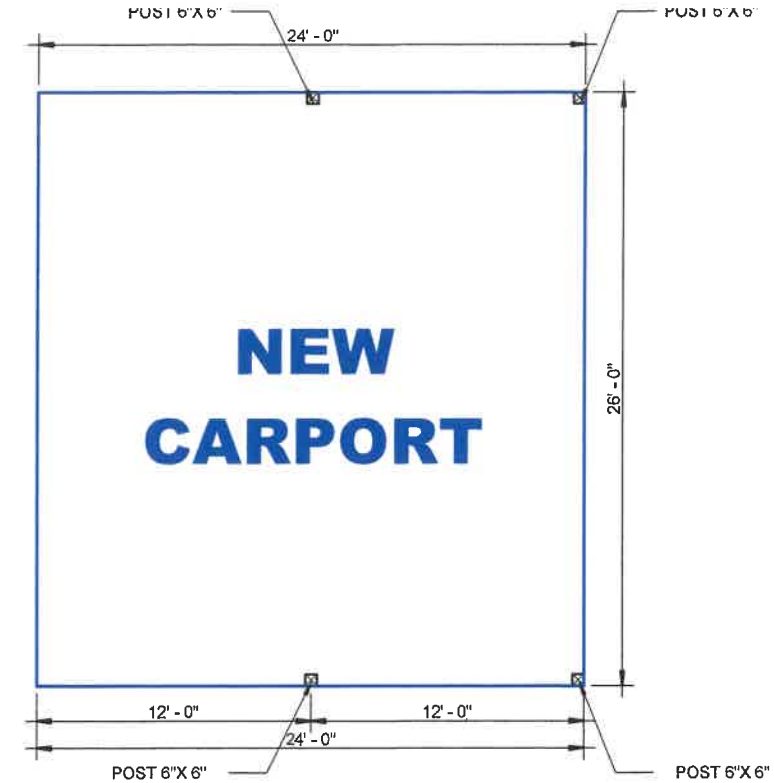
Date: 6/23/2023

Scale 1/8" = 1'-0"

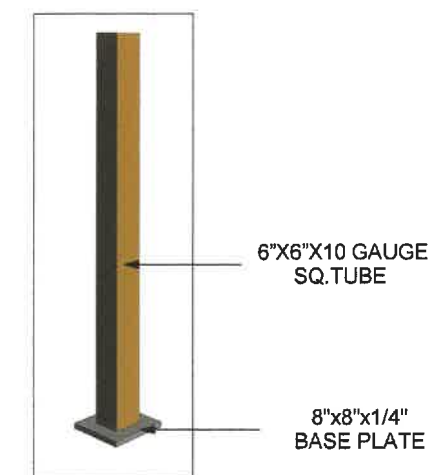
Drawn by: Projects & Construction Araque



1 Floor Plan
1/8" = 1'-0"



2 Top View Post
3/16" = 1'-0"



3 Detail Post



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Project Name & Address

820 E HEATH ST
ROCKWALL, TX 75087

Legal Description

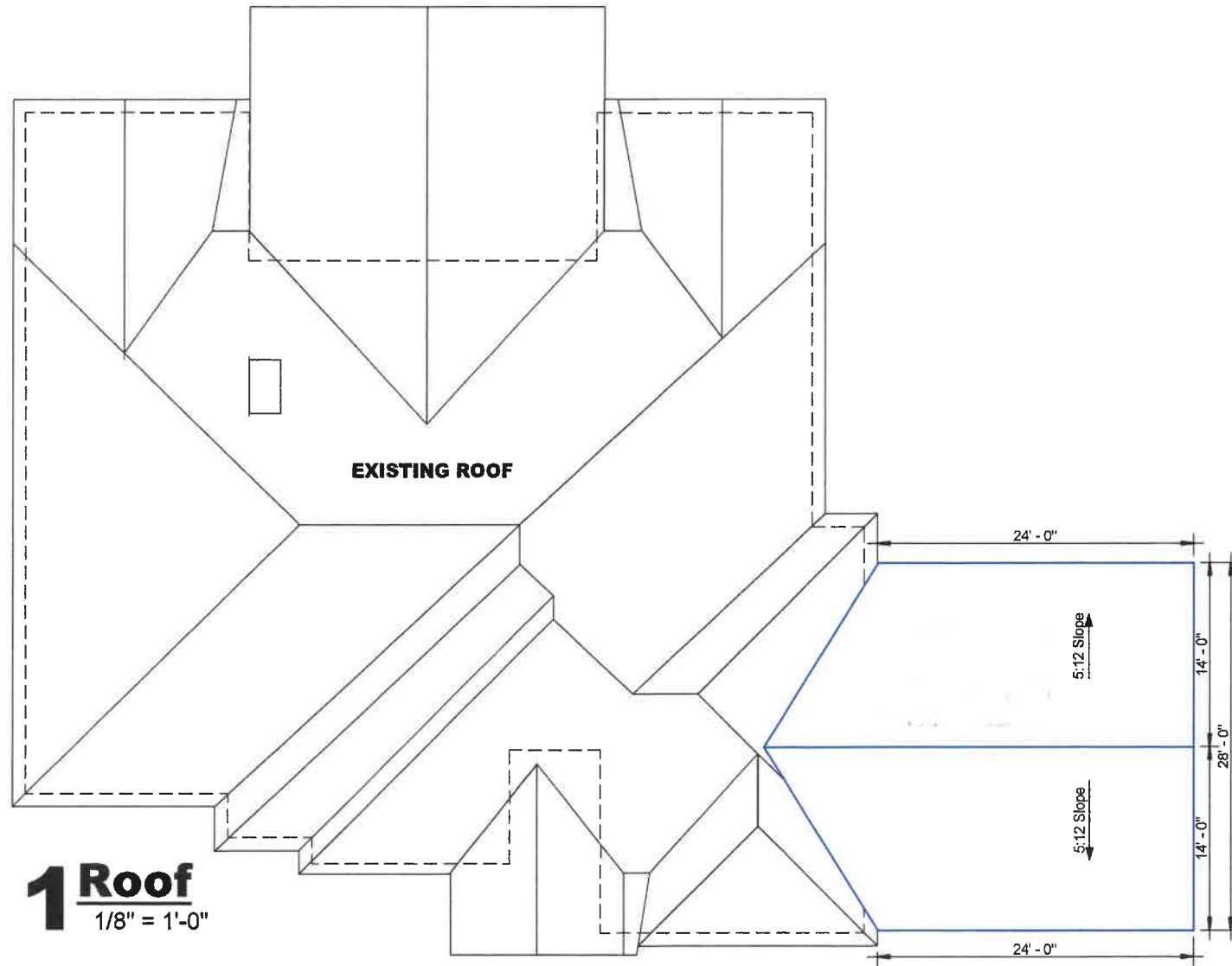
LOT 7

FLOOR PLAN

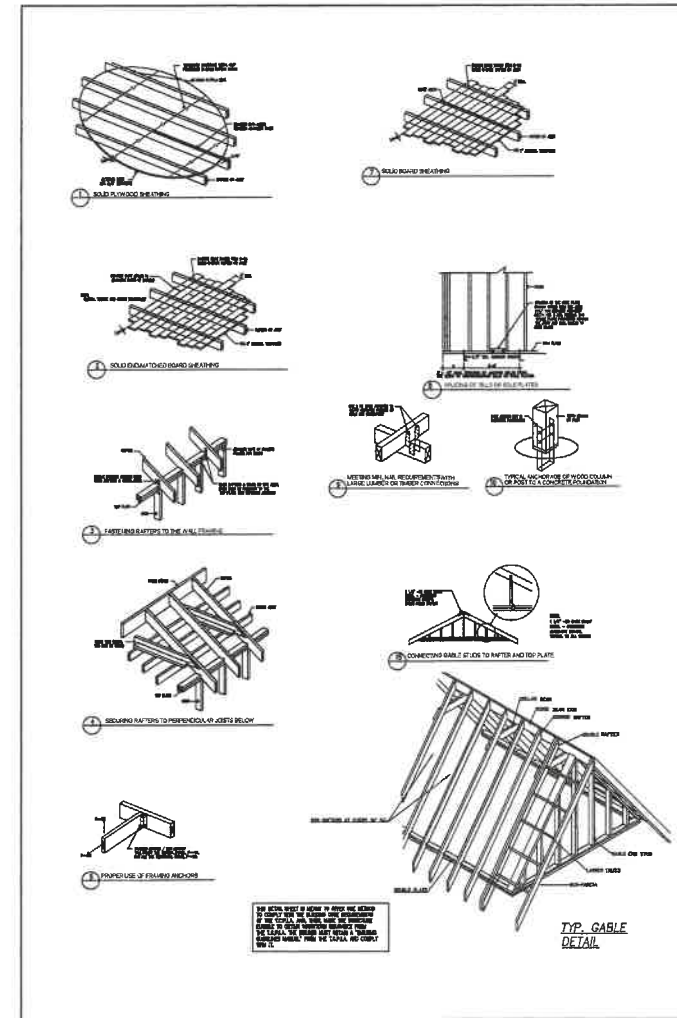
Project number:

Date: 6/23/2023 Scale As indicated

Drawn by: Projects & Construction Araque



FRAMING NOTES



THESE PLANS ARE INTENDED TO PROVIDE BASIC CONSTRUCTION INFORMATION NECESSARY TO SUBSTANTIALLY BUILD THIS STRUCTURE. THESE PLANS MUST BE REVIEWED AND CHECKED BY THE BUILDER, HOMEOWNER, AND ALL CONTRACTORS OF THIS JOB PRIOR TO CONSTRUCTION. BUILDER SHOULD OBTAIN COMPLETE ENGINEERING SERVICES, FOUNDATION AND STRUCTURAL, BEFORE BEGINNING CONSTRUCTION OF ANY WORK. NOTE: ALL FEDERAL, STATE, AND LOCAL CODES AND RESTRICTIONS TAKE PRECEDENCE OVER ANY PART OF THESE PLANS.

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Project Name & Address
820 E HEATH ST
ROCKWALL, TX 75087

Legal Description
LOT 7

ROOF

Project number:

Date: 6/23/2023 Scale As indicated

Drawn by: Projects & Construction Araque

3

CITY OF ROCKWALL

ORDINANCE NO. 23-XX

AN ORDINANCE OF THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS, AMENDING THE UNIFIED DEVELOPMENT CODE [ORDINANCE NO. 20-02] OF THE CITY OF ROCKWALL, AS HERETOFORE AMENDED, SO AS TO GRANT A SPECIFIC USE PERMIT (SUP) FOR A CARPORT THAT DOES NOT MEET THE MINIMUM REQUIREMENTS ON AN 0.3492-ACRE PARCEL OF LAND IDENTIFIED AS LOT 7, BLOCK A, SOLAR VILLAGE ADDITION, CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS, AND BEING MORE SPECIFICALLY DESCRIBED AND DEPICTED IN EXHIBIT 'A' AND EXHIBIT 'B' OF THIS ORDINANCE; PROVIDING FOR SPECIAL CONDITIONS; PROVIDING FOR A PENALTY OF FINE NOT TO EXCEED THE SUM OF TWO THOUSAND DOLLARS (\$2,000.00) FOR EACH OFFENSE; PROVIDING FOR A SEVERABILITY CLAUSE; PROVIDING FOR A REPEALER CLAUSE; PROVIDING FOR AN EFFECTIVE DATE.

WHEREAS, the City has received a request from Richard Expo on behalf of Ryszard Waszczuk for the approval of a Specific Use Permit (SUP) for a *Carport* that does not meet the minimum requirements on an 0.3492-acre parcel of land identified as Lot 7, Block A, Solar Village Addition, City of Rockwall, Rockwall County, Texas, zoned Single-Family 7 (SF-7) District, addressed as 820 E. Heath Street, and more fully described and depicted in *Exhibit 'A'* and *Exhibit 'B'* of this ordinance, which hereinafter shall be referred to as the *Subject Property* and incorporated by reference herein; and

WHEREAS, the Planning and Zoning Commission of the City of Rockwall and the governing body of the City of Rockwall in compliance with the laws of the State of Texas and the ordinances of the City of Rockwall have given the requisite notices by publication and otherwise, and have held public hearings and afforded a full and fair hearing to all property owners generally and to all persons interested in and situated in the affected area, and in the vicinity thereof, and the governing body in the exercise of its legislative discretion, has concluded that the Unified Development Code (UDC) [*Ordinance No. 20-02*] should be amended as follows:

NOW, THEREFORE, BE IT ORDAINED BY THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS:

SECTION 1. That the Unified Development Code (UDC) [*Ordinance No. 20-02*] of the City of Rockwall, Texas, as heretofore amended, be and the same are hereby amended so as to grant a Specific Use Permit allowing for the establishment of a *Carport* that does not meet the minimum size or setback requirements for a carport in a Single Family 7 (SF-7) District as stipulated by, *Article 04, Permissible Uses*, and *Article V, District Development Standards*, of the Unified Development Code [*Ordinance No. 04-38*] on the *Subject Property*; and

SECTION 2. That the Specific Use Permit (SUP) shall be subject to the requirements set forth in Subsection 03.01, *General Residential District Standards*, and Subsection 03.09, *Single-Family 7 (SF-7) District*, of Article 05, *District Development Standards*, of the Unified Development Code (UDC) [*Ordinance No. 20-02*] -- as heretofore amended and may be amended in the future -- and with the following conditions:

2.1 OPERATIONAL CONDITIONS

The following conditions pertain to the operation of a carport on the *Subject Property* and conformance to these requirements is necessary for continued operations:

- (1) The carport shall maintain conformance to the approved site plan and building elevations depicted in *Exhibits 'A' & 'B'* of this ordinance.
- (2) The carport shall not exceed a maximum size of 625 SF.
- (3) The carport shall not exceed a maximum overall height of 17-feet.
- (4) The carport is subject to administrative review in the event that the *Subject Property* is sold, conveyed or altered in any manner.

2.2. COMPLIANCE

Approval of this ordinance in accordance with Subsection 02.02, *Specific Use Permits (SUP)*, of Article 11, *Development Applications and Review Procedures*, of the Unified Development Code (UDC) will require compliance to the following:

- (1) Upon obtaining a building permit, should the business owner operating under the guidelines of this ordinance fail to meet the minimum operational requirements set forth herein and outlined in the Unified Development Code (UDC), the City may (*after proper notice*) initiate proceedings to revoke the Specific Use Permit (SUP) in accordance with Subsection 02.02(F), *Revocation*, of Article 11, *Development Applications and Revision Procedures*, of the Unified Development Code (UDC) [*Ordinance No. 20-02*].

SECTION 3. That the official zoning map of the City be corrected to reflect the changes in the zoning described herein;

SECTION 4. Any person, firm, or corporation violating any of the provisions of this ordinance shall be deemed guilty of a misdemeanor and upon conviction shall be punished by a penalty of fine not to exceed the sum of *Two Thousand Dollars (\$2,000.00)* for each offence and each and every day such offense shall continue shall be deemed to constitute a separate offense;

SECTION 5. If any section, paragraph, or provision of this ordinance or the application of that section, paragraph, or provision to any person, firm, corporation or situation is for any reason judged invalid, the adjudication shall not affect any other section, paragraph, or provision of this ordinance or the application of any other section, paragraph or provision to any other person, firm, corporation or situation, nor shall adjudication affect any other section, paragraph, or provision of the Unified Development Code (UDC) of the City of Rockwall, Texas, and the City Council declares that it would have adopted the valid portions and applications of the ordinance without the invalid parts and to this end the provisions for this ordinance are declared to be severable; and

SECTION 6. That all ordinances of the City of Rockwall in conflict with the provisions of this ordinance be and the same are hereby repealed, and all other ordinances of the City of Rockwall not in conflict with the provisions of this ordinance shall remain in full force and effect;

SECTION 7. That this ordinance shall take effect immediately from and after its passage.

PASSED AND APPROVED BY THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS,
THIS THE 5th DAY OF SEPTEMBER, 2023.

Trace Johannessen, Mayor

ATTEST:

Kristy Teague, City Secretary

APPROVED AS TO FORM:

Frank J. Garza, City Attorney

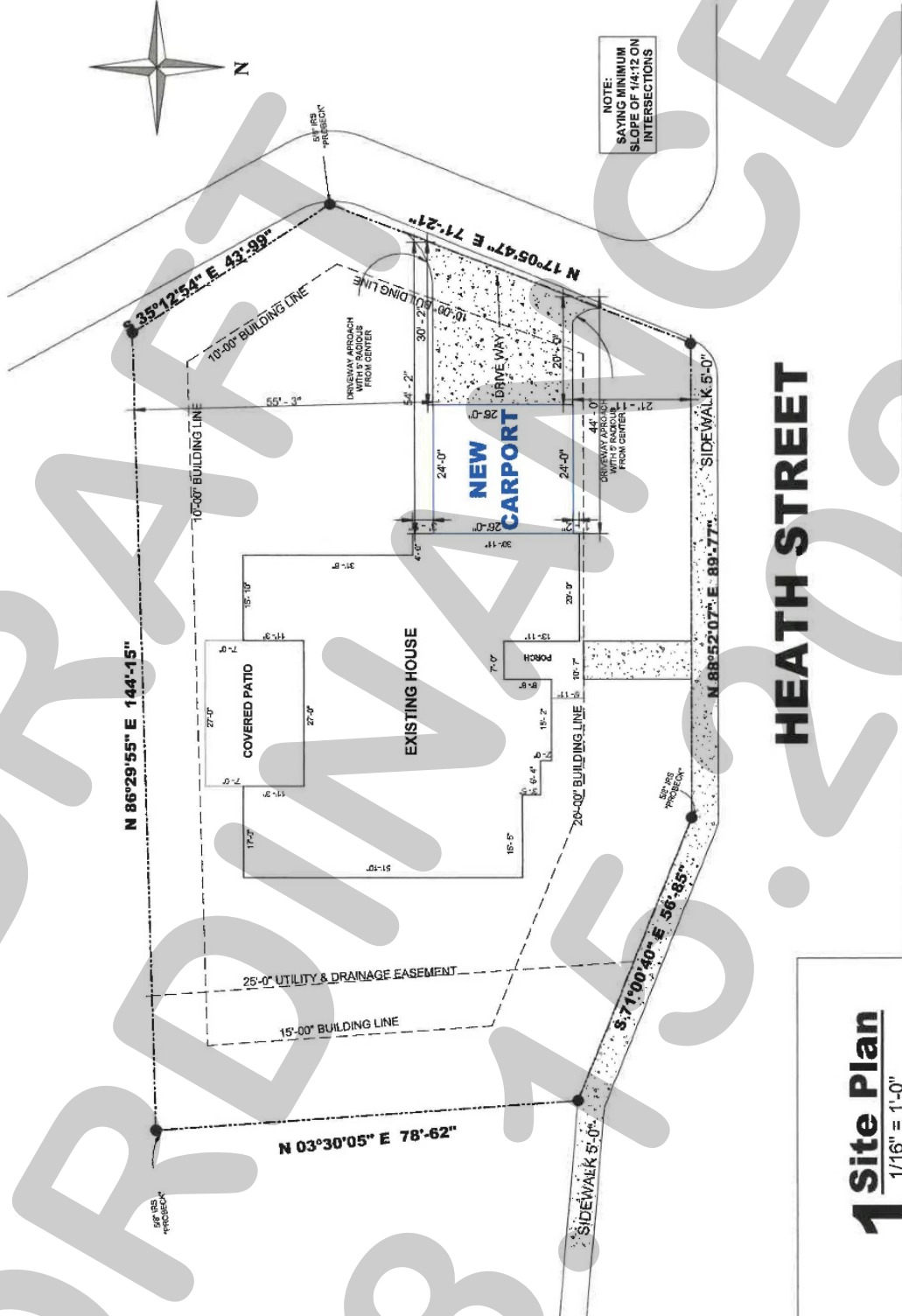
1st Reading: August 21, 2023

2nd Reading: September 5, 2023

Exhibit 'A'
Concept Plan



NOTE:
SAVING MINIMUM
SLOPE OF 1/412 ON
INTERSECTIONS



HEATH STREET

1 Site Plan
1/16" = 1'-0"



CITY OF ROCKWALL

PLANNING AND ZONING COMMISSION CASE MEMO

PLANNING AND ZONING DEPARTMENT

385 S. GOLIAD STREET • ROCKWALL, TX 75087

PHONE: (972) 771-7745 • EMAIL: PLANNING@ROCKWALL.COM

TO: Planning and Zoning Commission
DATE: August 15, 2023
APPLICANT: Renee Ward, PE; *Weir & Associates, Inc.*
CASE NUMBER: Z2023-035; *Specific Use Permit (SUP) for a Golf Driving Range*

SUMMARY

Hold a public hearing to discuss and consider a request by Renee Ward, PE of Weir & Associates, Inc. on behalf of Conor Keilty, AIA of Structured REA-Rockwall Land, LLC for the approval of a Specific Use Permit (SUP) amending *Ordinance No. 22-52 [S-287]* for a *Golf Driving Range* on an 7.955-acre tract of land being portions of a larger 18.131-acre tract of land and a 12.868-acre tract of land identified as Tract 22 & 22-2 of the R. Irvine Survey, Abstract No. 120, City of Rockwall, Rockwall County, Texas, zoned Commercial (C) District, situated within the IH-30 Overlay (IH-30 OV) District, generally located near the terminus of Fit Sport Life Boulevard, and take any action necessary.

BACKGROUND

The subject property was annexed by the City Council on July 21, 1997 by *Ordinance No. 97-14 [Case No. A1997-001]*. At the time of annexation, the subject property was zoned Agricultural (AG) District. Based on the City's *Historic Zoning Maps*, at some point between annexation and April 5, 2005 the subject property was zoned Commercial (C) District. On October 3, 2022, the City Council approved a Specific Use Permit (SUP) [*Ordinance No. 22-52; S-287*] for a *Golf Driving Range [Case No. Z2022-041]* on the subject property. The subject property has remained vacant since annexation.

PURPOSE

On July 14, 2023, the applicant -- *Renee Ward, PE of Weir & Associates, Inc.* -- submitted an application requesting a Specific Use Permit (SUP) for a *Golf Driving Range* for the purpose of constructing an ~63,200 SF entertainment venue that will consist of *Commercial Outdoor Amusement, Restaurants, Banquet Facility/Event Hall*, and a *Golf Driving Range*.

ADJACENT LAND USES AND ACCESS

The subject property is located at the terminus of Fit Sport Life Boulevard. The land uses adjacent to the subject property are as follows:

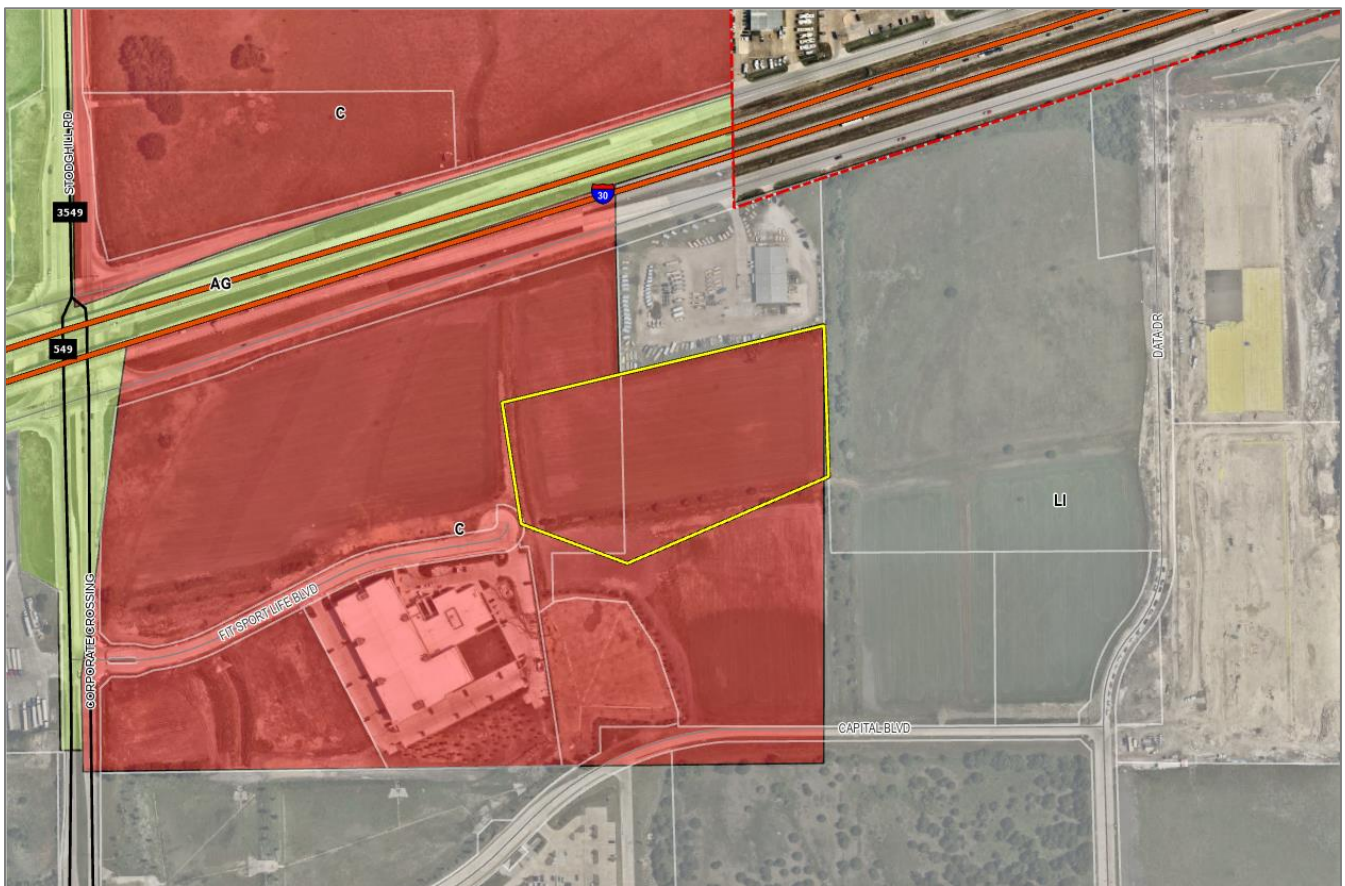
North: Directly north of the subject property is: [1] a 4.4317-acre tract of land (*i.e. Tract 22-01 of the R. Irvine Survey, Abstract No. 120*), zoned Light Industrial (LI) District, and which has a *Truck/Trailer Rental* facility (*i.e. Big Tex Trailers*) situated on it, and [2] the remainder of a 12.868-acre tract of vacant land (*i.e. Tract 22-2 of the R. Irvine Survey, Abstract No. 120*) that is zoned Commercial (C) District. Beyond this is the eastbound *Frontage Road* for IH-30, followed by the main lanes of IH-30, and the westbound *Frontage Road* for IH-30.

South: Directly south of the subject property is the remainder of an 18.131-acre tract of vacant land (*i.e. Tract 22 of the R. Irvine Survey, Abstract No. 120*). This property is zoned Commercial (C) District. Beyond this is Capital Boulevard, which is identified as a R2U (*i.e. residential, two [2] lane, undivided roadway*) on the Master Thoroughfare Plan contained in the OURHometown Vision 2040 Comprehensive Plan. Following this is a vacant 10.98-acre tract of land (*i.e. Tract 1 of the J. H. B. Jones Survey, Abstract No. 125*), situated within Phase 4 of the Rockwall Technology Park that is zoned Light Industrial (LI) District.

East: Directly east of the subject property is a 21.50-acre tract of vacant land (i.e. Tract 24-2 of the R. Irvine Survey, Abstract No. 120) zoned Light Industrial (LI) District. Beyond this is the right-of-way for Data Drive, which is identified as a *Minor Collector* on the Master Thoroughfare Plan contained in the OURHometown Vision 2040 Comprehensive Plan. East of this is an 11.12-acre tract of vacant land (i.e. Tract 25 of the R. Irvine Survey, Abstract No. 120) zoned Light Industrial (LI) District.

West: Directly west of the subject property is a 6.377-acre parcel of land (i.e. Lot 5, Block A, Fit Sport Life Addition) developed with a sports and recreation facility (i.e. Fit Sport Life), zoned Commercial (C) District. Beyond this is the remainder of a 12.868-acre tract of vacant land (i.e. Tract 22-2 of the R. Irvine Survey, Abstract No. 120) that is zoned Commercial (C) District. Following this is Corporate Crossing (i.e. FM-549) which is identified as a TXDOT4D (i.e. Texas Department of Transportation, four [4] lane, roadway) according to the Master Thoroughfare Plan contained in the OURHometown Vision 2040 Comprehensive Plan. West of this is a 6.1917-acre parcel of land (i.e. Lot 1, Block A, Love's Addition), zoned Light Industrial (LI) District, which is currently occupied with a *Truck Stop* (i.e. Love's Truck Stop).

MAP 1: LOCATION MAP
YELLOW: SUBJECT PROPERTY



CHARACTERISTICS OF THE REQUEST

The applicant has submitted a concept plan for an entertainment venue that will consist of *Outdoor Commercial Amusement*, *Restaurants*, *Banquet Facility/Event Hall*, and a *Golf Driving Range*. The concept plan shows that the facility will incorporate two (2) restaurants (i.e. *Culinary Wise Food Hall* and the *Nodding Donkey*) consisting of 12,333 SF, an event space consisting of 5,248 SF, a kid's playground and family green space consisting of 18,000 SF, a 27,500 SF *Outdoor Commercial Amusement* space (i.e. *Mini-Golf*), and a *Golf Driving Range* consisting of 24,900 SF of open-air driving bays. The proposed facility will be three (3) stories in height and incorporate 370 parking spaces. In addition, the 130,000 SF of *Golf Driving Range* will extend 200-yards and be enclosed using nets that will be supported with poles that will be 175-feet in height.

CONFORMANCE WITH THE CITY'S CODES

The subject property is zoned Commercial (C) District and is situated within the IH-30 Overlay (IH-30 OV) District. According to the *Permissible Use Charts* contained in Article 04, *Permissible Uses*, of the Unified Development Code (UDC) the *Restaurant* and *Banquet Facility/Event Hall* land uses are permitted *by-right* within the Commercial (C) District; however, the *Golf Driving Range* and *Outdoor Commercial Amusement* require a Specific Use Permit (SUP) within the Commercial (C) District. The Unified Development Code (UDC) does not stipulate any *Conditional Land Use Standards* for the *Golf Driving Range*, and the purpose of the Specific Use Permit (SUP) requirement for the *Golf Driving Range* land use is to acknowledge that this land use may not be appropriate in all locations of the City. According to the *Conditional Use Standards* for the *Outdoor Commercial Amusement* land use, it shall be located a minimum of 300-feet from and residential zoned or used property. In this case, the applicant is in conformance with this *Conditional Land Use Standard*. In addition to the land use standards, Article 05, *District Development Standards*, of the Unified Development Code (UDC) stipulates a maximum building height of 60-feet in the Commercial (C) District; however, the code goes on to grant the City Council the ability to increase the building height up to 240-feet through a Specific Use Permit (SUP). In this case, the proposed poles supporting the nets for the *Golf Driving Range* will be 175-feet in total height. In order to provide flexibility staff has included an operational condition in the Specific Use Permit (SUP) ordinance that the poles not exceed 200-feet in total height. Staff should note that the City Council and Planning and Zoning Commission approved the height increase with the previous Specific Use Permit (SUP) [*Ordinance No. 22-52; S-287*].

OURHOMETOWN VISION 2040 COMPREHENSIVE PLAN

According to the *Land Use Plan* contained in the OURHometown Vision 2040 Comprehensive Plan, the subject is situated within the *IH-30 Corridor District* and is designated for *Special Commercial Corridor* land uses. This land use designation is defined as being "...intended to provide an area for commercial/retail and regional commercial/retail activity centers that are intended to support and serve the entire region." The primary land uses for this designation are listed as *Regional Shopping Centers*,

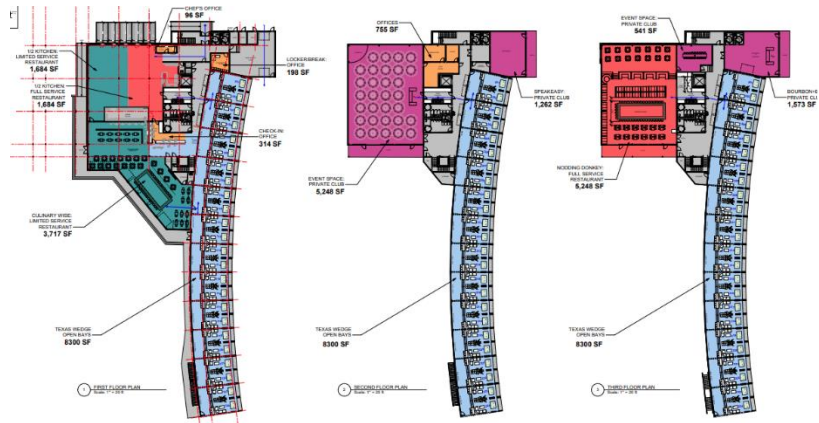


FIGURE 1: CONCEPT FLOOR PLAN FOR THE FACILITY



FIGURE 2: CONCEPT BUILDING ELEVATIONS

Entertainment, Retail, Personal Services, Restaurant, Corporate Offices, Employment and Recreation land uses. In addition, the *IH-30 Corridor Plan* contained in Appendix B, *Corridor Plans*, of the OURHometown Vision 2040 Comprehensive Plan, identifies the subject property as being a *Strategically Located Property* and designated as an *Opportunity Zone* or “(a) segment of the existing corridor with vacant or strategically placed or underutilized land that could be developed or redevelopment with the highest and best use for the corridor.”

STAFF ANALYSIS

The Specific Use Permit (SUP) request submit by the applicant is the second time this request has been made. On October 3, 2022, the City Council approved a Specific Use Permit (SUP) [*Ordinance No. 22-52; S-287*] for a *Golf Driving Range* [*Case No. Z2022-041*] on the subject property. As part of this SUP approval an exception to the maximum building height was approved, and a condition of approval was added to the ordinance to enable the increased height. In this case, the applicant is making the same exception request for exceeding the maximum permitted height in a Commercial (C) District. That being said, there are differences between the approved SUP and the current request. Based on the provided concept plans the applicant has: [1] changed the building materials to incorporate more secondary materials, [2] increased the family green space, [3] added *Outdoor Commercial Amusement* (i.e. *mini-golf*), [4] reduced the number of parking spaces, [5] added an event hall, [6] removed the *Indoor Commercial Amusement* (i.e. *bowling and arcade*), and [6] removed the roof top garden.

All that being said, the location, access, surrounding land uses, and visibility of the subject property appear to be appropriate for a regional entertainment venue. Staff should point out that in other cities, land uses -- *similar to what the applicant is proposing* -- have proven to be regional destination centers (e.g. *Top Golf, Drive-Shack, etc.*). Based on this, the applicant’s request does conform to the types of land uses indicated for the subject property by the OURHometown Vision 2040 Comprehensive Plan. In addition, the subject property is located in an area of the City that is surrounded by commercial and industrial land uses, and does not have any residential adjacencies that would be inconsistent with the proposed land use. Taking this into consideration, the proposed additional height requested for the support poles does not appear to have a negative impact on any adjacent properties. With this being said, a request for a Specific Use Permit (SUP) is a discretionary decision for the City Council pending a recommendation from the Planning and Zoning Commission.

NOTIFICATIONS

On July 21, 2023, staff mailed 9 notices to property owners and occupants within 500-feet of the subject property. Additionally, staff posted a sign on the subject property, and advertised the public hearings in the Rockwall Herald Banner as required by the Unified Development Code (UDC). There were no Homeowner’s Associations (HOA’s) or Neighborhood Organizations within 1,500-feet of the subject property participating in the Neighborhood Notification Program. At the time this report was drafted, staff had not received any notices returned concerning the applicant’s request.

CONDITIONS OF APPROVAL

If the Planning and Zoning Commission chooses to recommend approval of the applicant’s request for a Specific Use Permit (SUP) for a *Golf Driving Range*, then staff would propose the following conditions of approval:

- (1) The applicant shall be responsible for maintaining compliance with the *Operational Conditions* contained in the Specific Use Permit (SUP) ordinance and which are detailed as follows:
 - (a) The development and operation of a *Golf Driving Range* shall generally conform to the *Concept Plan* depicted in *Exhibit ‘B’* and *Concept Building Elevations* depicted in *Exhibit ‘C’* of the Specific Use Permit (SUP) ordinance.
 - (b) The maximum height of the netting and support structures shall not exceed 200-feet and shall generally conform to *Exhibit ‘D’* of the Specific Use Permit (SUP) ordinance.
- (2) Any construction resulting from the approval of this *Specific Use Permit (SUP)* shall conform to the requirements set forth by the Unified Development Code (UDC), the International Building Code (IBC), the Rockwall Municipal Code of Ordinances, city adopted engineering and fire codes and with all other applicable regulatory requirements administered and/or enforced by the state and federal government.



DEVELOPMENT APPLICATION

City of Rockwall
Planning and Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087

STAFF USE ONLY

PLANNING & ZONING CASE NO. _____

NOTE: THE APPLICATION IS NOT CONSIDERED ACCEPTED BY THE CITY UNTIL THE PLANNING DIRECTOR AND CITY ENGINEER HAVE SIGNED BELOW.

DIRECTOR OF PLANNING: _____

CITY ENGINEER: _____

PLEASE CHECK THE APPROPRIATE BOX BELOW TO INDICATE THE TYPE OF DEVELOPMENT REQUEST [SELECT ONLY ONE BOX]:

PLATTING APPLICATION FEES:

- MASTER PLAT (\$100.00 + \$15.00 ACRE) ¹
- PRELIMINARY PLAT (\$200.00 + \$15.00 ACRE) ¹
- FINAL PLAT (\$300.00 + \$20.00 ACRE) ¹
- REPLAT (\$300.00 + \$20.00 ACRE) ¹
- AMENDING OR MINOR PLAT (\$150.00)
- PLAT REINSTATEMENT REQUEST (\$100.00)

SITE PLAN APPLICATION FEES:

- SITE PLAN (\$250.00 + \$20.00 ACRE) ¹
- AMENDED SITE PLANELEVATIONS/LANDSCAPING PLAN (\$100.00)

ZONING APPLICATION FEES:

- ZONING CHANGE (\$200.00 + \$15.00 ACRE) ¹
- SPECIFIC USE PERMIT (\$200.00 + \$15.00 ACRE) ^{1 & 2}
- PD DEVELOPMENT PLANS (\$200.00 + \$15.00 ACRE) ¹

OTHER APPLICATION FEES:

- TREE REMOVAL (\$75.00)
- VARIANCE REQUEST/SPECIAL EXCEPTIONS (\$100.00) ²

NOTES:

¹: IN DETERMINING THE FEE, PLEASE USE THE EXACT ACREAGE WHEN MULTIPLYING BY THE PER ACRE AMOUNT. FOR REQUESTS ON LESS THAN ONE ACRE, ROUND UP TO ONE (1) ACRE.
²: A \$1,000.00 FEE WILL BE ADDED TO THE APPLICATION FEE FOR ANY REQUEST THAT INVOLVES CONSTRUCTION WITHOUT OR NOT IN COMPLIANCE TO AN APPROVED BUILDING PERMIT.

PROPERTY INFORMATION [PLEASE PRINT]

ADDRESS Fit Sports Life Boulevard

SUBDIVISION Structured REA-Rockwall Land LLC

Inst. No. 2021000001622

GENERAL LOCATION 200' South and 800' East of intersection of I30 and Corporate Crossing

ZONING, SITE PLAN AND PLATTING INFORMATION [PLEASE PRINT]

CURRENT ZONING Commercial - C

CURRENT USE Undeveloped

PROPOSED ZONING Commercial - C with SUP

PROPOSED USE Restaurant & Golf

ACREAGE 9.942 acres

LOTS [CURRENT] 0

LOTS [PROPOSED] 1

SITE PLANS AND PLATS: BY CHECKING THIS BOX YOU ACKNOWLEDGE THAT DUE TO THE PASSAGE OF HB3167 THE CITY NO LONGER HAS FLEXIBILITY WITH REGARD TO ITS APPROVAL PROCESS, AND FAILURE TO ADDRESS ANY OF STAFF'S COMMENTS BY THE DATE PROVIDED ON THE DEVELOPMENT CALENDAR WILL RESULT IN THE DENIAL OF YOUR CASE.

OWNER/APPLICANT/AGENT INFORMATION [PLEASE PRINT/CHECK THE PRIMARY CONTACT/ORIGINAL SIGNATURES ARE REQUIRED]

OWNER Structured REA-Rockwall Land LLC

APPLICANT Wier & Associates, Inc.

CONTACT PERSON Conor Keilty, AIA

CONTACT PERSON Renee Ward, P.E.

ADDRESS 2801 E Camelback Road, Ste. 200

ADDRESS 2201 E Lamar Blvd, Ste. 200E

CITY, STATE & ZIP Phoenix, Arizona 85016

CITY, STATE & ZIP Arlington, Texas 76006

PHONE (480) 603-7577

PHONE (817) 467-7700

E-MAIL conork@structuredrea.com

E-MAIL ReneeW@wierassociates.com

NOTARY VERIFICATION [REQUIRED]

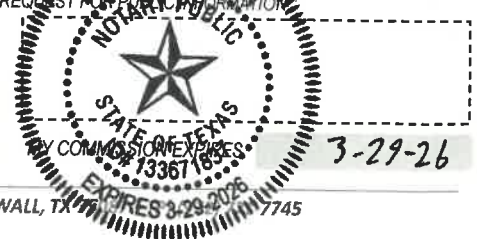
BEFORE ME, THE UNDERSIGNED AUTHORITY, ON THIS DAY PERSONALLY APPEARED Conor Keilty [OWNER] THE UNDERSIGNED, WHO STATED THE INFORMATION ON THIS APPLICATION TO BE TRUE AND CERTIFIED THE FOLLOWING:

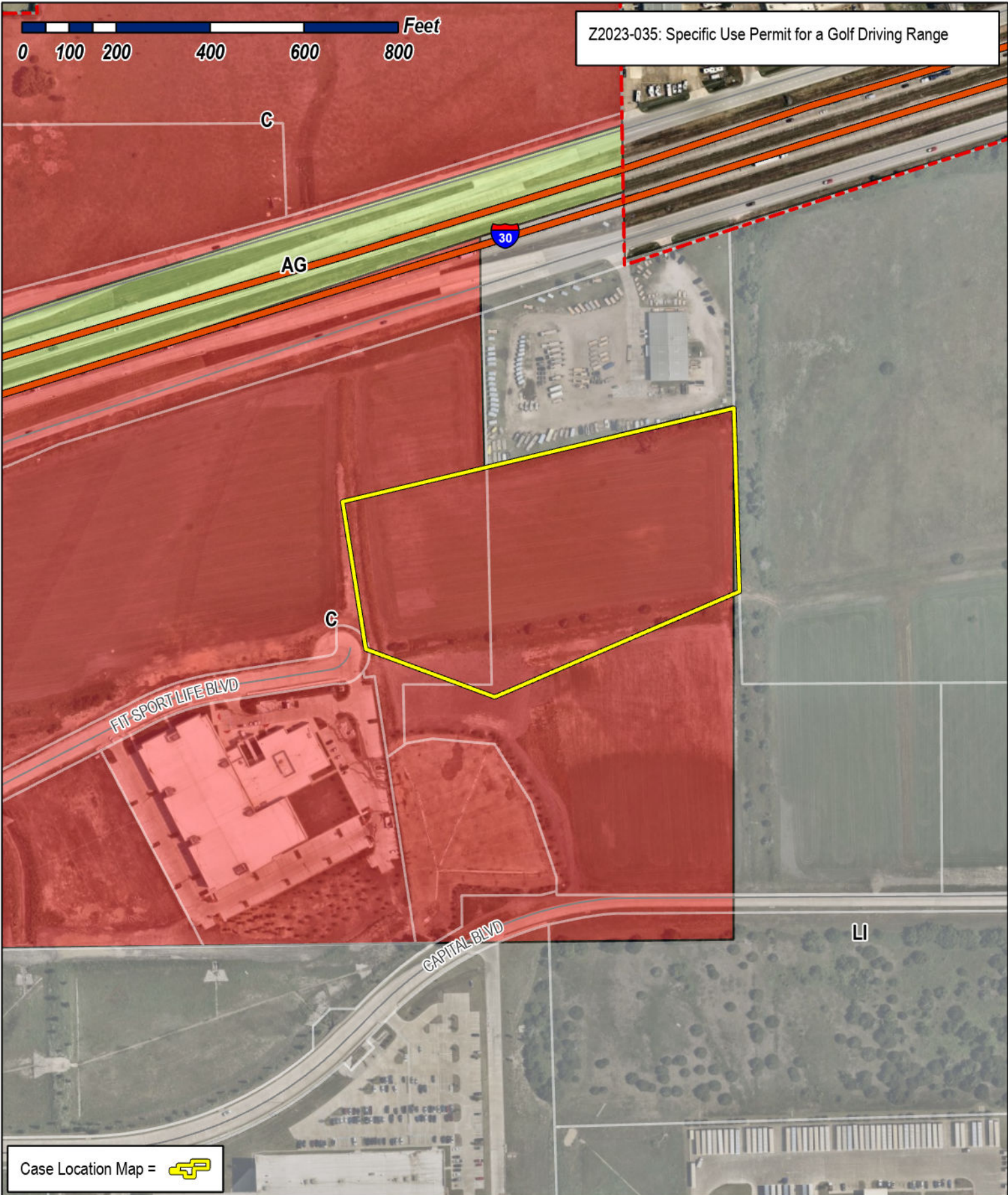
"I HEREBY CERTIFY THAT I AM THE OWNER FOR THE PURPOSE OF THIS APPLICATION; ALL INFORMATION SUBMITTED HEREIN IS TRUE AND CORRECT; AND THE APPLICATION FEE OF \$ 349.13 TO COVER THE COST OF THIS APPLICATION, HAS BEEN PAID TO THE CITY OF ROCKWALL ON THIS 14th DAY OF July 20 23. BY SIGNING THIS APPLICATION, I AGREE THAT THE CITY OF ROCKWALL (I.E. "CITY") IS AUTHORIZED AND PERMITTED TO PROVIDE INFORMATION CONTAINED WITHIN THIS APPLICATION TO THE PUBLIC. THE CITY IS ALSO AUTHORIZED AND PERMITTED TO REPRODUCE AND DISSEMINATE ANY INFORMATION SUBMITTED IN CONJUNCTION WITH THIS APPLICATION, IF SUCH REPRODUCTION IS ASSOCIATED OR IN RESPONSE TO A REQUEST FOR PUBLIC INFORMATION."

GIVEN UNDER MY HAND AND SEAL OF OFFICE ON THIS THE 12th DAY OF July 20 23.


OWNER'S SIGNATURE

NOTARY PUBLIC IN AND FOR THE STATE OF TEXAS





Z2023-035: Specific Use Permit for a Golf Driving Range

Case Location Map = 



City of Rockwall

Planning & Zoning Department
 385 S. Goliad Street
 Rockwall, Texas 75087
 (P): (972) 771-7745
 (W): www.rockwall.com

The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.

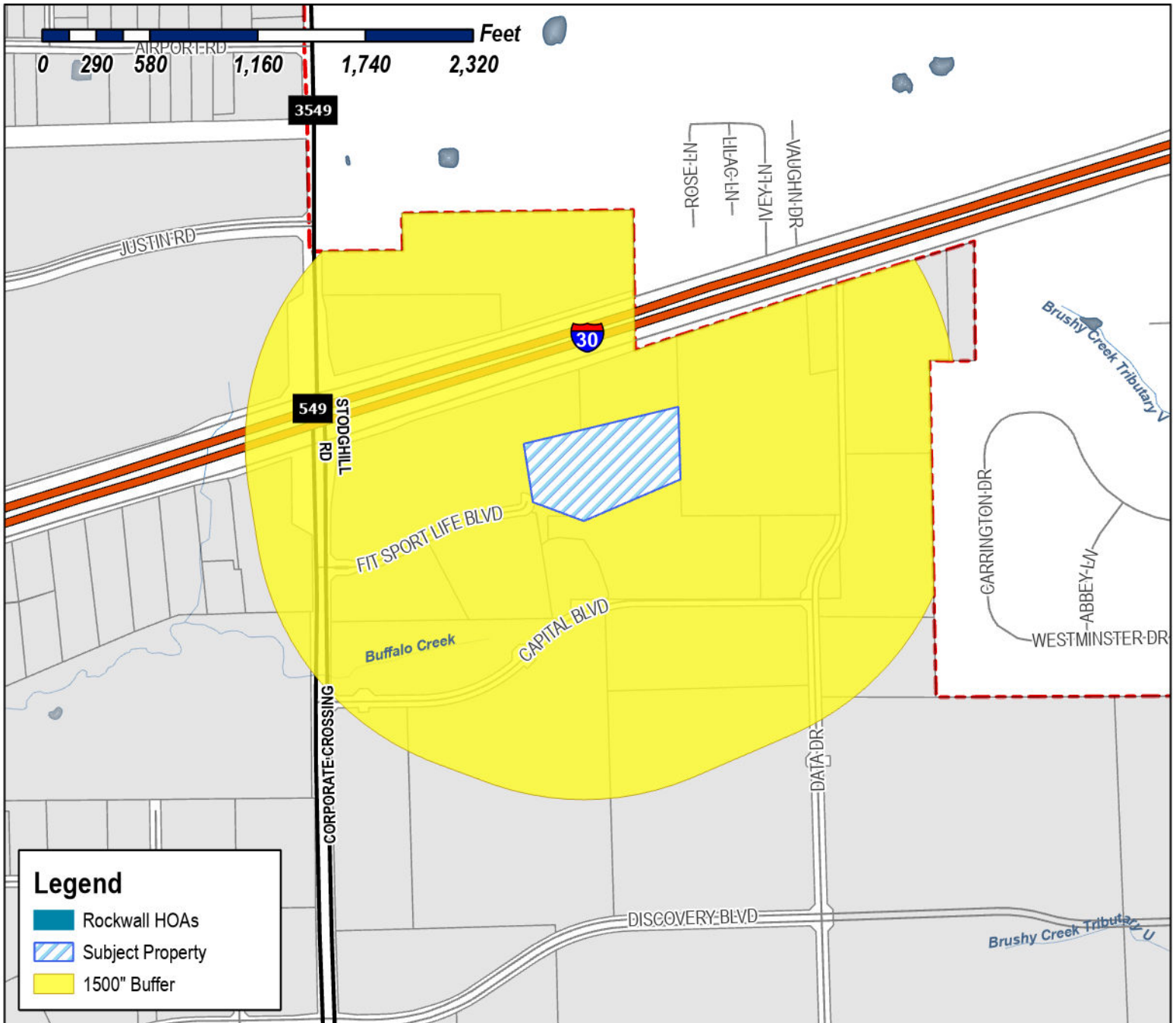




City of Rockwall

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Case Number: Z2023-035
Case Name: SUP for a Golf Driving Range
Case Type: Zoning
Zoning: Commercial (C) District & Light Industrial (LI) District
Case Address: Intersection of I-30 & Corporate Crossing

Date Saved: 7/21/2023
 For Questions on this Case Call (972) 771-7745

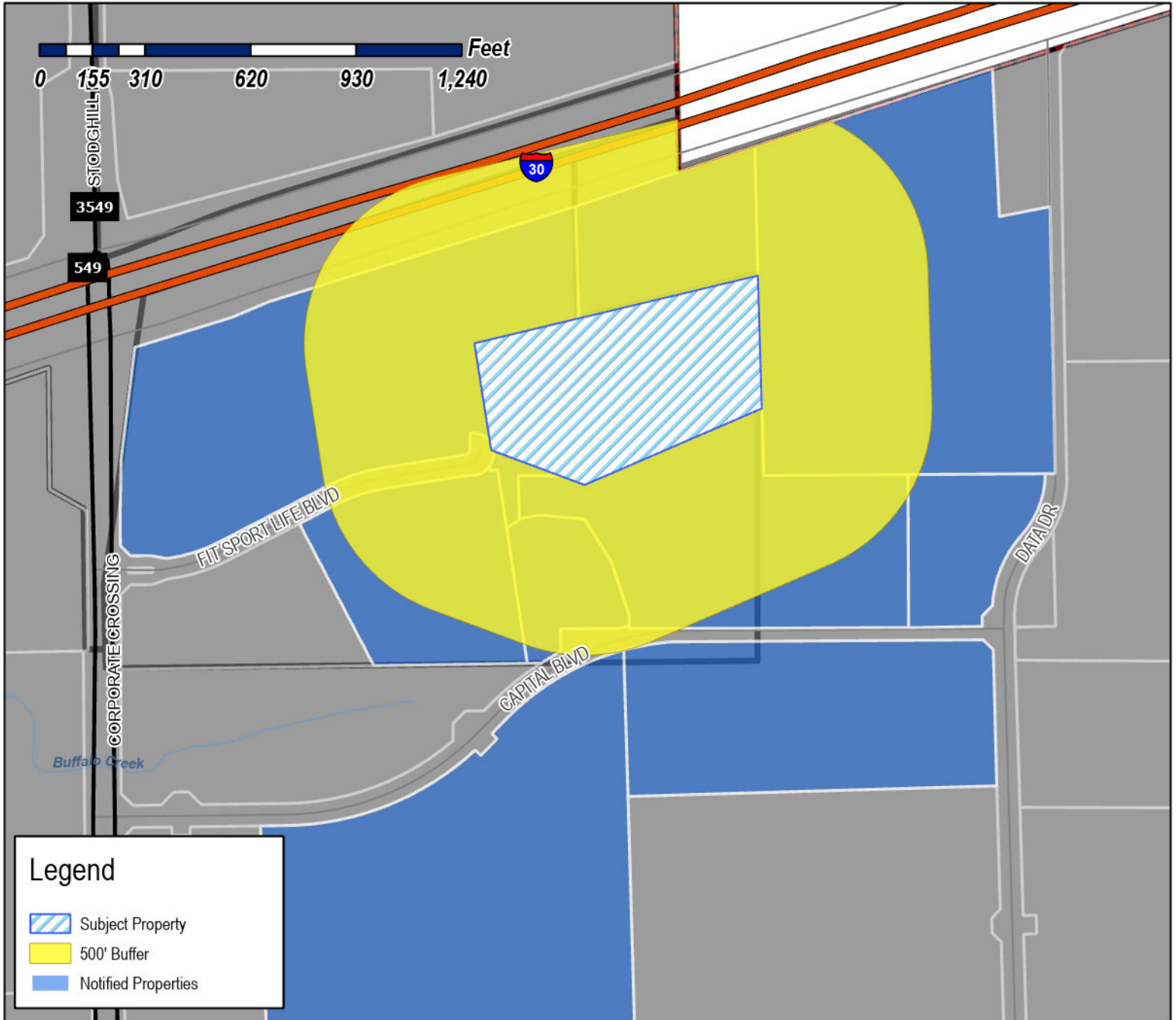




City of Rockwall

Planning & Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087
(P): (972) 771-7745
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Case Number: Z2023-035
Case Name: SUP for Golf Driving Range
Case Type: Zoning
Zoning: Commercial (C) District & Light Industrial (LI) District
Case Address: Intersection of I-30 & Corporate Crossing

Date Saved: 7/21/2023

For Questions on this Case Call: (972) 771-7746



CAPITAL BOULEVARD VENTURE LLC AND
GLOBAL WELLS INVESTMENT GROUP LLC
1225 W IMPERIAL HWY STE B
BREA, CA 92821

WALLIS RUSTY FAMILY LTD PARTNERSHIP #2
12277 SHILOH RD
DALLAS, TX 75228

STRUCTURED REA FSL ROCKWALL LLC
171 ABERDEEN STREET SUITE 400
CHICAGO, IL 60607

RESIDENT
2260 E I30
ROCKWALL, TX 75032

STRUCTURED REA- ROCKWALL LAND LLC
2801 E. CAMELBACK ROAD SUITE 200
PHOENIX, AZ 85016

RESIDENT
3101 FIT SPORT LIFE BLVD
ROCKWALL, TX 75032

RESIDENT
3201 CAPITAL BLVD
ROCKWALL, TX 75032

ROCKWALL ECONOMIC DEVELOPMENT
CORPORATION
P O BOX 968
ROCKWALL, TX 75087

JOWERS INC
PO BOX 1870
ROCKWALL, TX 75087

PUBLIC NOTICE



CITY OF ROCKWALL
PLANNING AND ZONING DEPARTMENT
PHONE: (972) 771-7745
EMAIL: PLANNING@ROCKWALL.COM

Property Owner and/or Resident of the City of Rockwall:

You are hereby notified that the City of Rockwall Planning and Zoning Commission and City Council will consider the following application:

Z2023-035: SUP for Golf Driving Range

Hold a public hearing to discuss and consider a request by Renee Ward, PE of Weir & Associates, Inc. on behalf of Conor Keilty, AIA of Structured REA-Rockwall Land, LLC for the approval of a Specific Use Permit (SUP) amending Ordinance No. 22-52 [S-287] for a Golf Driving Range on an 7.955-acre tract of land being portions of a larger 18.131-acre tract of land and a 12.868-acre tract of land identified as Tract 22 & 22-2 of the R. Irvine Survey, Abstract No. 120, City of Rockwall, Rockwall County, Texas, zoned Commercial (C) District, situated within the IH-30 Overlay (IH-30 OV) District, generally located near the terminus of Fit Sport Life Boulevard, and take any action necessary.

For the purpose of considering the effects of such a request, the Planning and Zoning Commission will hold a public hearing on Tuesday, August 15, 2023 at 6:00 PM, and the City Council will hold a public hearing on Monday, August 21, 2023 at 6:00 PM. These hearings will be held in the City Council Chambers at City Hall, 385 S. Goliad Street.

As an interested property owner, you are invited to attend these meetings. If you prefer to express your thoughts in writing please return the form to:

Henry Lee
Rockwall Planning and Zoning Dept.
385 S. Goliad Street
Rockwall, TX 75087

You may also email your comments to the Planning Department at planning@rockwall.com. If you choose to email the Planning Department please include your name and address for identification purposes.

Your comments must be received by Monday, August 21, 2023 at 4:00 PM to ensure they are included in the information provided to the City Council.

Sincerely,

Ryan Miller, AICP
Director of Planning & Zoning



MORE INFORMATION ON THIS CASE CAN BE FOUND AT: <https://sites.google.com/site/rockwallplanning/development/development-cases>

----- PLEASE RETURN THE BELOW FORM -----

Case No. Z2023-035: SUP for Golf Driving Range

Please place a check mark on the appropriate line below:

- I am in favor of the request for the reasons listed below.
- I am opposed to the request for the reasons listed below.

[Redacted area]

Name: [Redacted]

Address: [Redacted]

Tex. Loc. Gov. Code, Sec. 211.006 (d) If a proposed change to a regulation or boundary is protested in accordance with this subsection, the proposed change must receive, in order to take effect, the affirmative vote of at least three-fourths of all members of the governing body. The protest must be written and signed by the owners of at least 20 percent of either: (1) the area of the lots or land covered by the proposed change; or (2) the area of the lots or land immediately adjoining the area covered by the proposed change and extending 200 feet from that area.

[PLEASE SEE LOCATION MAP OF SUBJECT PROPERTY ON THE BACK OF THIS NOTICE](#)



WIER & ASSOCIATES, INC.

ENGINEERS
SURVEYORS
LAND PLANNERS

PRINCIPALS

JOHN P. WIER, P.E., R.P.L.S.
ULYS LANE III, P.E., R.P.L.S., CFM
CARLO SILVESTRI, P.E.
GREGG MADSEN, R.P.L.S.
RANDALL S. EARDLEY, P.E.

SENIOR ASSOCIATES

PHILIP L. GRAHAM, P.E.
PRIYA ACHARYA, P.E.

ASSOCIATES

TOBY W. RODGERS
CASEY D. YORK

July 14, 2023

City of Rockwall
Planning and Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087

**Re: Texas Wedge at the SEC of I-30 & Corporate Crossing
Amended Special Use Permit Request**

Dear Planning Department,

We are requesting an amended Special Use Permit for the proposed Texas Wedge, Mini Golf, The Nodding Donkey, and Culinary Wise Food Hall at the southeast corner of Interstate 30 and Corporate Crossing. The amendment is due to the property boundary increasing from 7.955 acres to 9.942 acres to include mini golf on-site. The metes and bounds description and concept/site layout plans have been adjusted for the larger property boundary. We are requesting the following zoning changes (that were included with the previously approved zoning case Z2022-041) with this amended SUP:

Golf Driving Range

Article 04 Section 01 of the Unified Development Code (UDC) requires a SUP for a golf driving range in the commercial zoning district.

The development plan for the proposed Texas Wedge includes a golf driving range.

We request a SUP to allow a golf driving range in the commercial zoning district.

Netting around Golf Driving Range

The development plan for the Texas Wedge golf driving range has proposed a 175 foot tall netting around the perimeter of the range.

We request a SUP to provide netting around the perimeter of the golf driving range.

We appreciate your acceptance of our amended Special Use Permit submittal and request your recommendation to the Planning and Zoning Commission and City Council for the approval of this amended SUP. If you have any questions or comments, please feel free to contact me at 817-467-7700 or ReneeW@WierAssociates.com.

Truly yours,

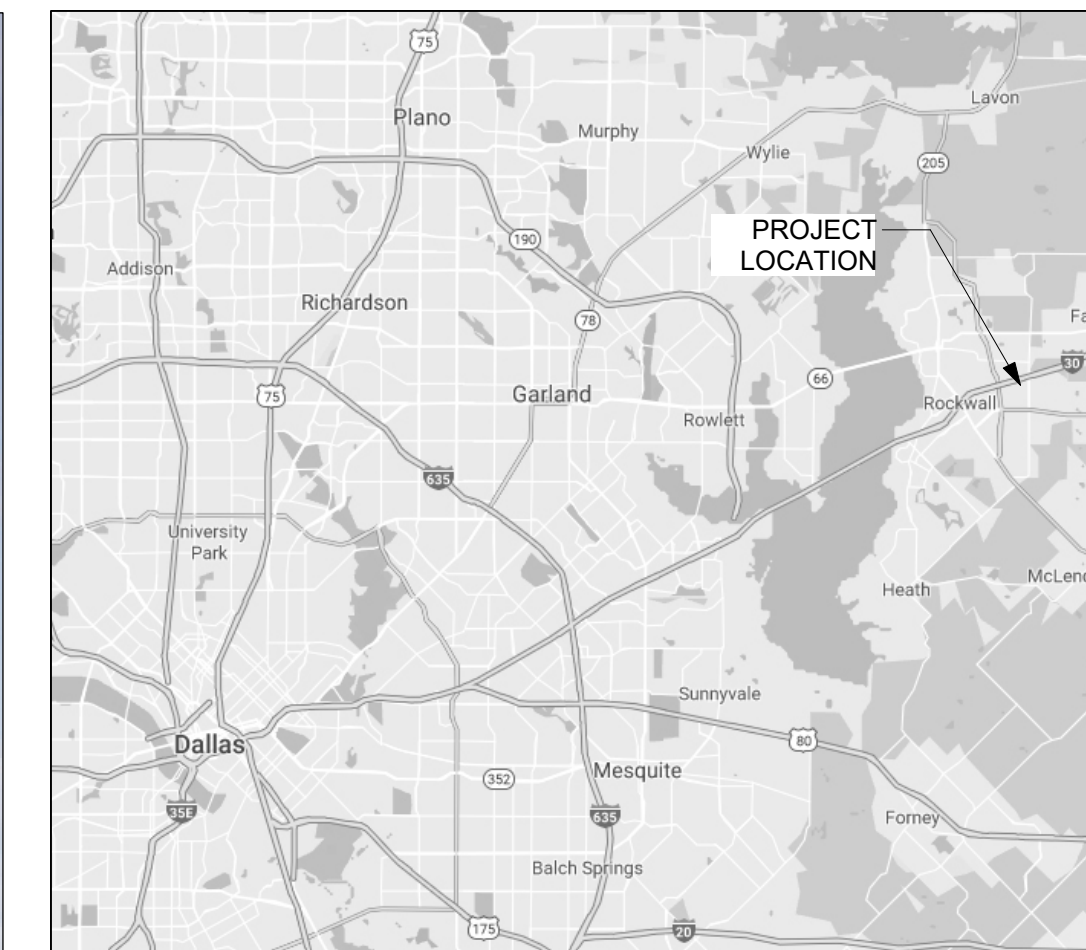
Renee Ward, PE
Wier & Associates, Inc.
Texas Firm Registration No. F-2776

TEXAS WEDGE

FIT SPORT LIFE BLVD, ROCKWALL, TEXAS 75032

NEW BUILDING FOR GOLF
FOOD AND ENTERTAINMENT

SCHEMATIC PRICING PACKAGE



VICINITY MAP

DRAWING LIST

- T - 1.0 TITLE SHEET
- SP - 1.0 SITE PLAN - EXISTING
- SP - 1.1 SITE PLAN - PROPOSED
- SP - 1.2 SITE PLAN - PROPOSED ENLARGED
- SP - 1.3 GREEN SPACES
- SP - 1.4 ADULT GREEN SPACES
- SP - 1.5 KID SPACES
- SP - 1.6 GOLF RANGE

- A - 1.1 FIRST FLOOR PLAN
- A - 1.2 SECOND FLOOR PLAN
- A - 1.3 THIRD FLOOR PLAN
- A - 1.4 PLANS 1-3

- A - 2.0 ELEVATION/SECTION - NORTH
- A - 2.1 ELEVATION/SECTION - SOUTH
- A - 2.2 ELEVATION/SECTION - WEST

WDS

410 SOUTH MICHIGAN AVE SUITE 512
CHICAGO ILLINOIS 60605
312.583.7087 ERICH@WDS-AD.COM

JOB # 2207

TEXAS WEDGE FACILITY
ROCKWALL, TX

ZONING
CASE:
Z2023-035

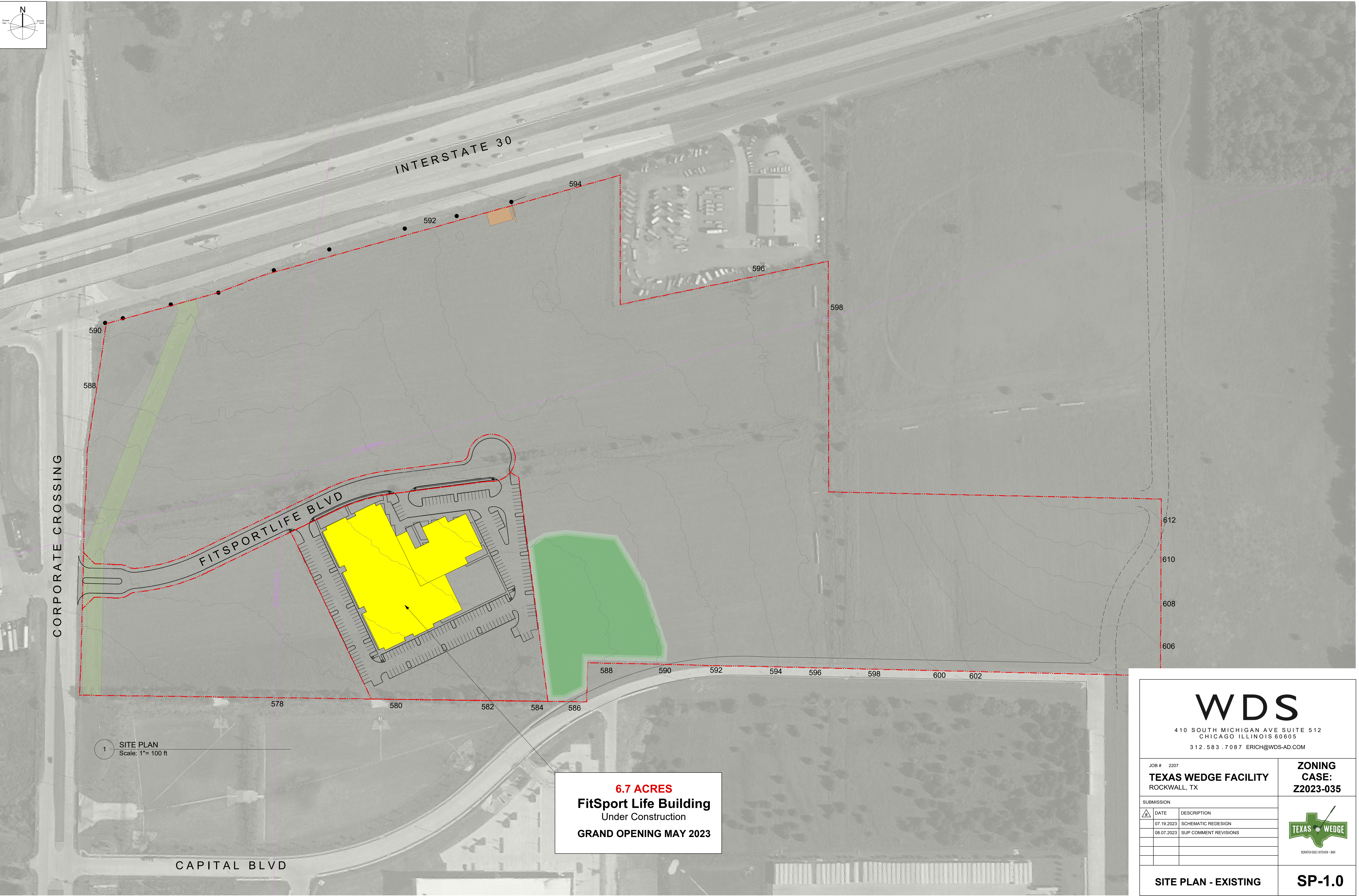
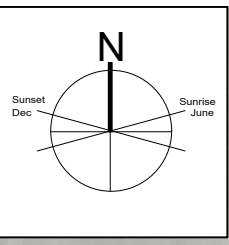
SUBMISSION

DATE	DESCRIPTION
07.19.2023	SCHEMATIC REDESIGN
08.07.2023	SUP COMMENT REVISIONS



TITLE SHEET

T-1.0



1 SITE PLAN
Scale: 1"= 100 ft

6.7 ACRES
FitSport Life Building
Under Construction
GRAND OPENING MAY 2023

WDS

410 SOUTH MICHIGAN AVE SUITE 512
CHICAGO ILLINOIS 60605
312.583.7087 ERICH@WDS-AD.COM

JOB # 2207
TEXAS WEDGE FACILITY
ROCKWALL, TX

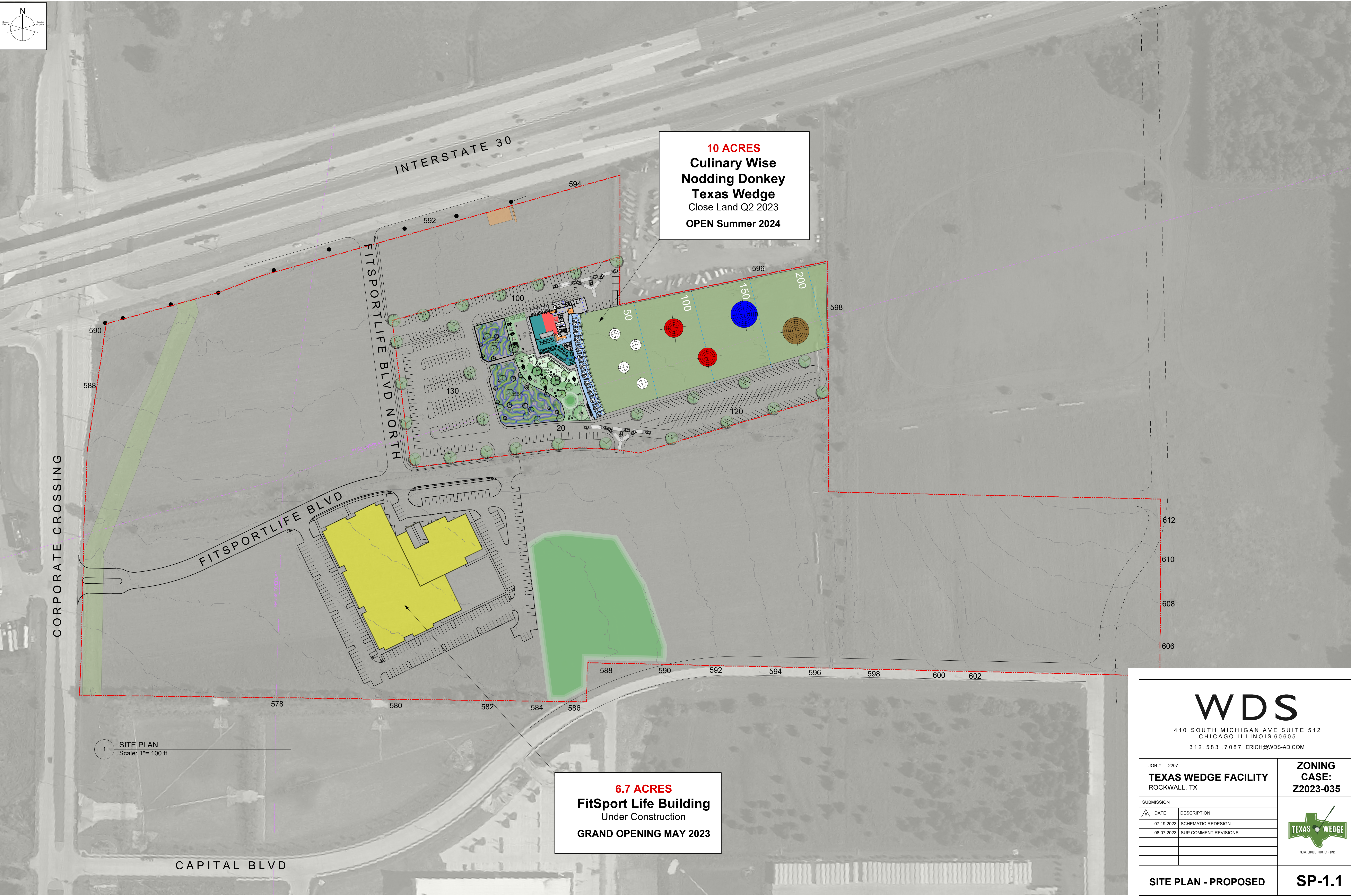
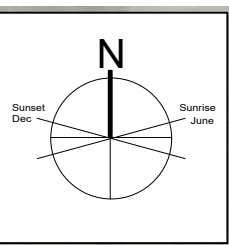
ZONING
CASE:
Z2023-035

SUBMISSION	
DATE	DESCRIPTION
07.19.2023	SCHEMATIC REDESIGN
08.07.2023	SUP COMMENT REVISIONS



SITE PLAN - EXISTING

SP-1.0



10 ACRES
Culinary Wise
Nodding Donkey
Texas Wedge
 Close Land Q2 2023
OPEN Summer 2024

6.7 ACRES
FitSport Life Building
 Under Construction
GRAND OPENING MAY 2023

1 **SITE PLAN**
 Scale: 1"= 100 ft

WDS

410 SOUTH MICHIGAN AVE SUITE 512
 CHICAGO ILLINOIS 60605
 312.583.7087 ERICH@WDS-AD.COM

JOB # 2207
TEXAS WEDGE FACILITY
 ROCKWALL, TX

ZONING
CASE:
Z2023-035

SUBMISSION	
DATE	DESCRIPTION
07.19.2023	SCHEMATIC REDESIGN
08.07.2023	SUP COMMENT REVISIONS



SITE PLAN - PROPOSED

SP-1.1

WDS

410 SOUTH MICHIGAN AVE SUITE 512
CHICAGO ILLINOIS 60605
312.583.7087 ERICH@WDS-AD.COM

JOB # 2207

TEXAS WEDGE FACILITY
ROCKWALL, TX

ZONING CASE:
Z2023-035

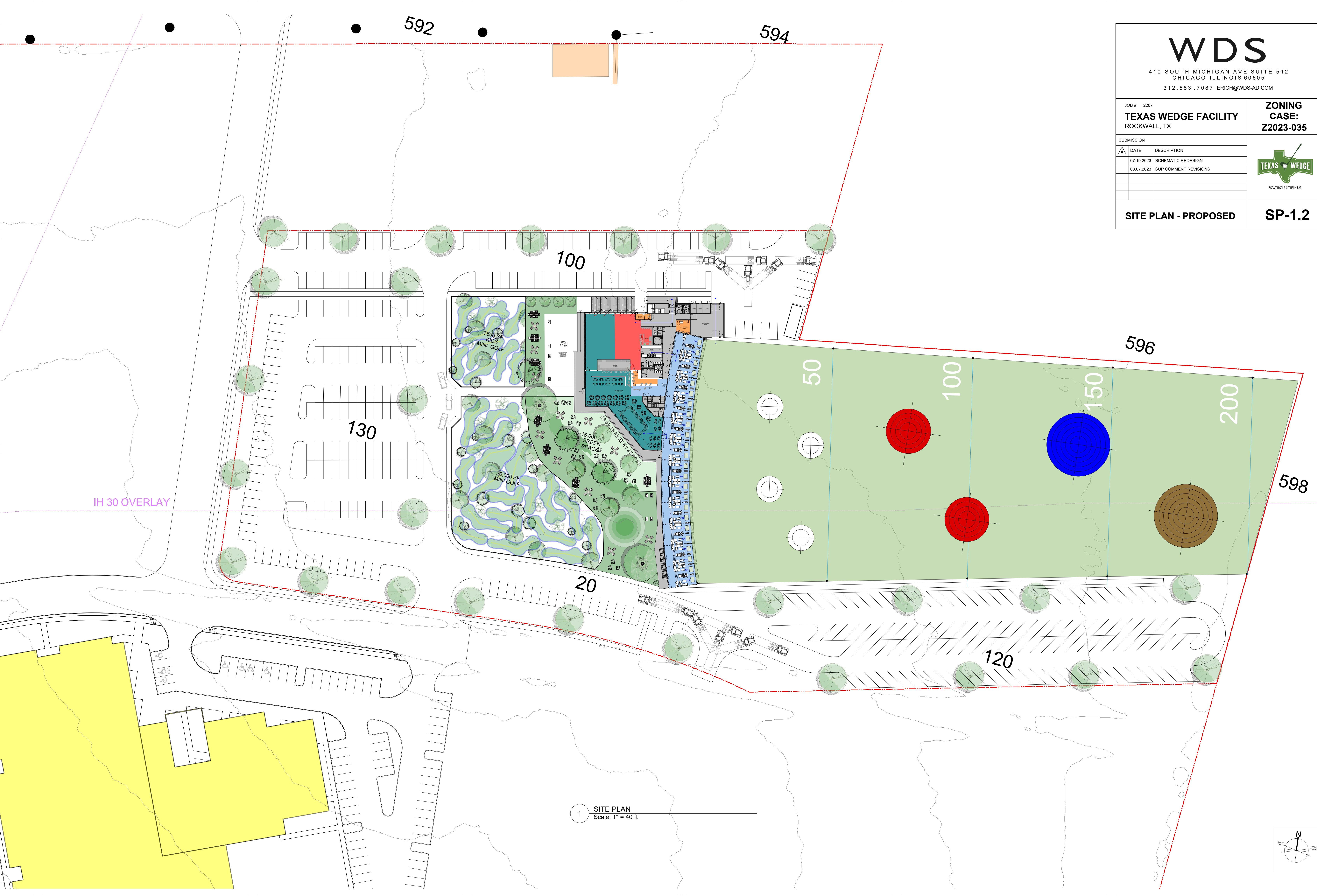
SUBMISSION

DATE	DESCRIPTION
07.19.2023	SCHEMATIC REDESIGN
08.07.2023	SUP COMMENT REVISIONS

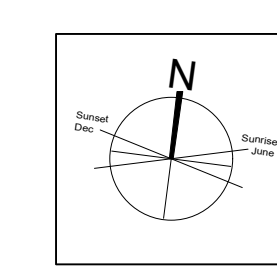


SITE PLAN - PROPOSED

SP-1.2



1 SITE PLAN
Scale: 1" = 40 ft




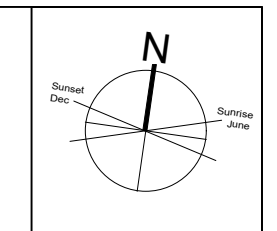


1 PLAN
Scale: 1" = 20 ft

WDS


410 SOUTH MICHIGAN AVE SUITE 512
CHICAGO ILLINOIS 60605
312.583.7087 ERICH@WDS-AD.COM

JOB # 2207		ZONING CASE: Z2023-035
TEXAS WEDGE FACILITY ROCKWALL, TX		
SUBMISSION		
DATE	DESCRIPTION	 <small>SCRATCH GOLF KITCHEN • BAR</small>
07.19.2023	SCHEMATIC REDESIGN	
08.07.2023	SUP COMMENT REVISIONS	
GREEN SPACES		SP-1.3

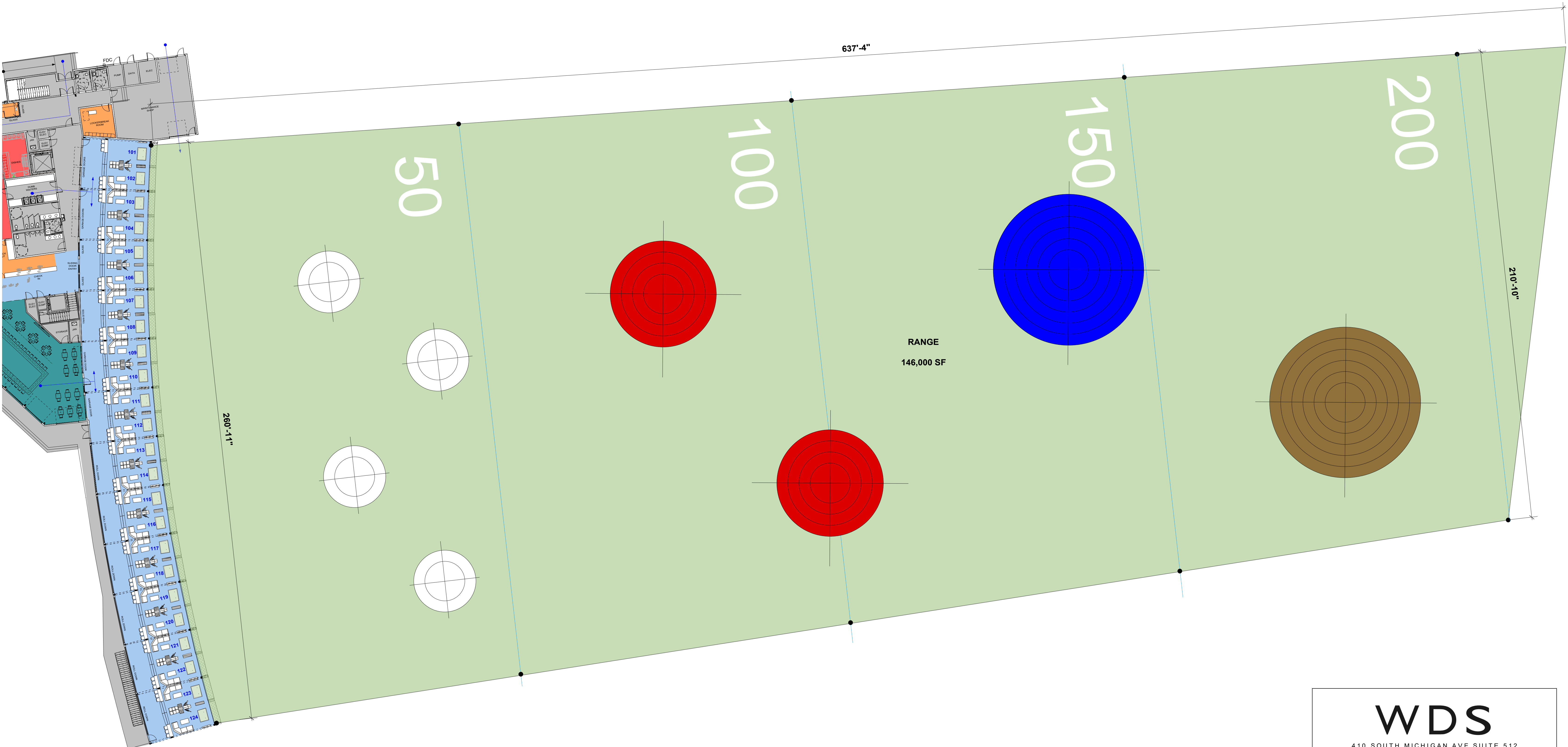
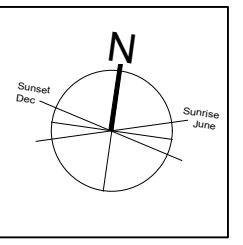


WDS

410 SOUTH MICHIGAN AVE SUITE 512
 CHICAGO ILLINOIS 60605
 312.583.7087 ERICH@WDS-AD.COM

JOB # 2207		ZONING CASE: Z2023-035
TEXAS WEDGE FACILITY ROCKWALL, TX		
SUBMISSION		
DATE	DESCRIPTION	 <small>SCRATCH GOLF KITCHEN • BAR</small>
07.19.2023	SCHEMATIC REDESIGN	
08.07.2023	SUP COMMENT REVISIONS	

ADULT GREEN SPACES **SP-1.4**

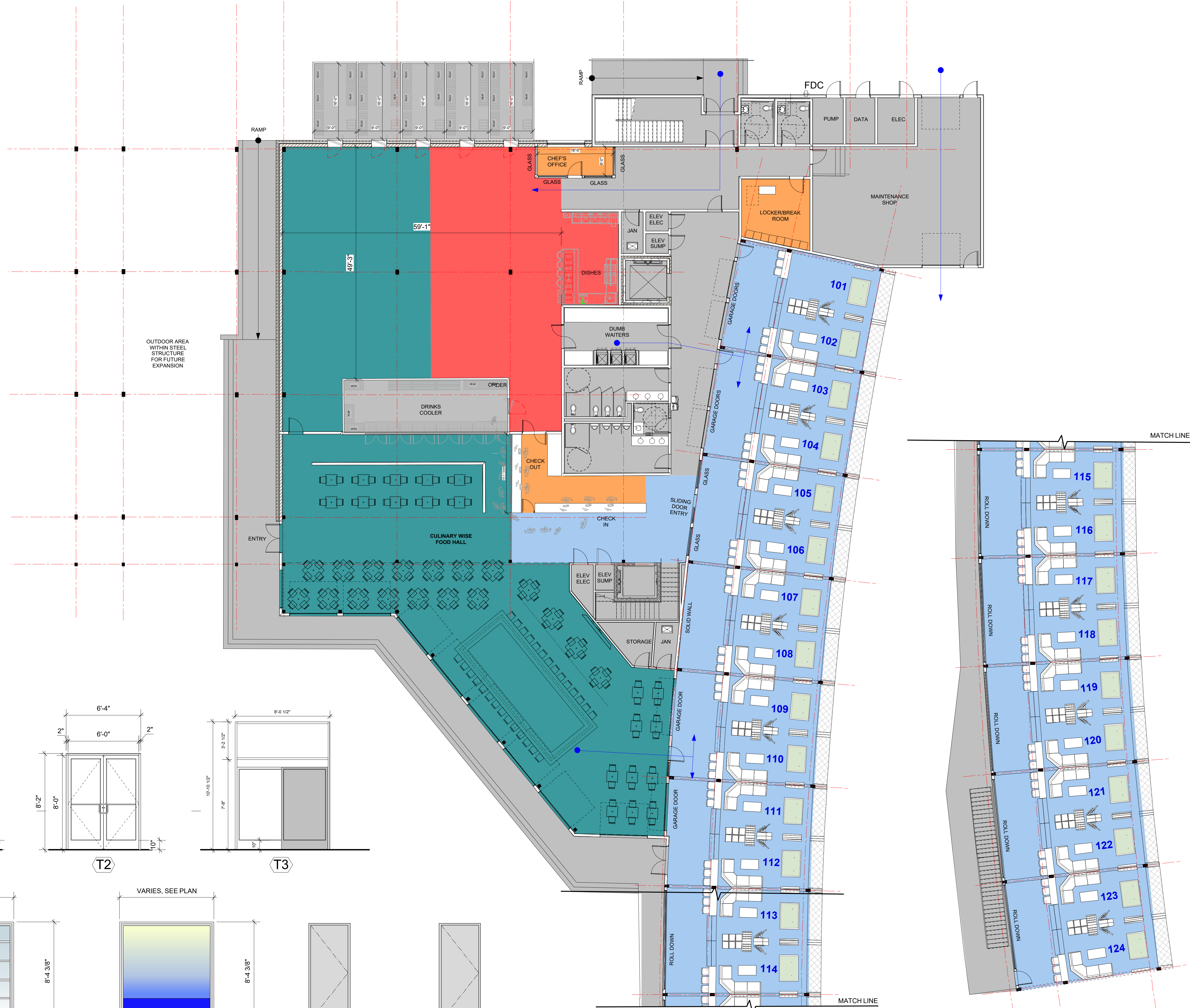


3 RANGE PLAN
Scale: 1" = 20 ft

WDS

410 SOUTH MICHIGAN AVE SUITE 512
CHICAGO ILLINOIS 60605
312.583.7087 ERICH@WDS-AD.COM

JOB # 2207		ZONING CASE: Z2023-035
TEXAS WEDGE FACILITY ROCKWALL, TX		
SUBMISSION		
DATE	DESCRIPTION	
07.19.2023	SCHEMATIC REDESIGN	
08.07.2023	SUP COMMENT REVISIONS	
GOLF RANGE		SP-1.6



WALL TYPE **A**

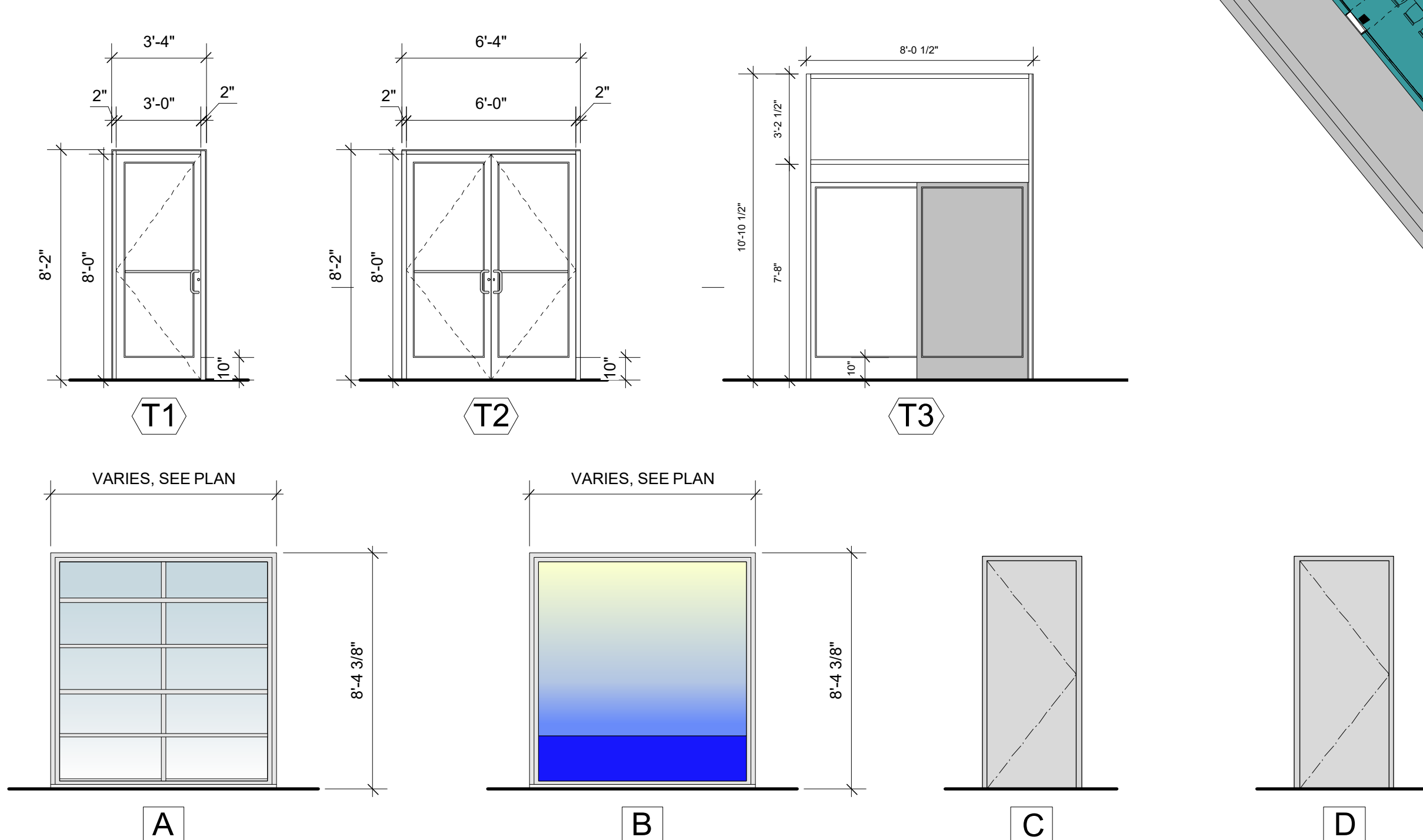
WALL TYPE **B**

ROOF TYPE **A**

7.2 PANEL CORRUGATED METAL - WESTERN STATES METAL ROOFING "WESTERN RIB" OR EQUAL
 ALUMINUM ST CLIP
 POLYISO THERMAL INSULATION (R-21)
 CONTINUOUS FULLY ADHERED AIR / VAPOR CONTROL LAYER
 METAL DECK - 7.2 METAL CORRUGATED METAL PANEL
 RE: STRUCTURAL
 ROOF PURLINS - STEEL TUBES
 RE: STRUCTURAL

ROOF TYPE **B**

7.2 PANEL CORRUGATED METAL - WESTERN STATES METAL ROOFING "WESTERN RIB" OR EQUAL



T1 CLOPAY 903 ARCHITECTURAL OVERHEAD DOOR ALUMINUM FRAME CLEAR ACRYLIC PANEL POLYZONE SILVER20XTRA FILM, SHGC .19 MECHANICALLY OPERATED MAX 0.90 U-FACTOR PER IECC 2018

T2 CLOPAY 903 ARCHITECTURAL OVERHEAD DOOR ALUMINUM FRAME CLEAR ACRYLIC PANEL POLYZONE SILVER20XTRA FILM, SHGC .19 MECHANICALLY OPERATED MAX 0.90 U-FACTOR PER IECC 2018

T3 CLOPAY 903 ARCHITECTURAL OVERHEAD DOOR ALUMINUM FRAME CLEAR ACRYLIC PANEL POLYZONE SILVER20XTRA FILM, SHGC .19 MECHANICALLY OPERATED MAX 0.90 U-FACTOR PER IECC 2018

A CLOPAY 903 ARCHITECTURAL OVERHEAD DOOR ALUMINUM FRAME CLEAR ACRYLIC PANEL POLYZONE SILVER20XTRA FILM, SHGC .19 MECHANICALLY OPERATED MAX 0.90 U-FACTOR PER IECC 2018

B PROGRESSIVE COMMERCIAL SCREEN


C EXTERIOR SINGLE LEAF 1-3/4" HOLLOW METAL DOOR 2" METAL FRAME WIDTH MAX 0.90 U-FACTOR PER IECC 2018

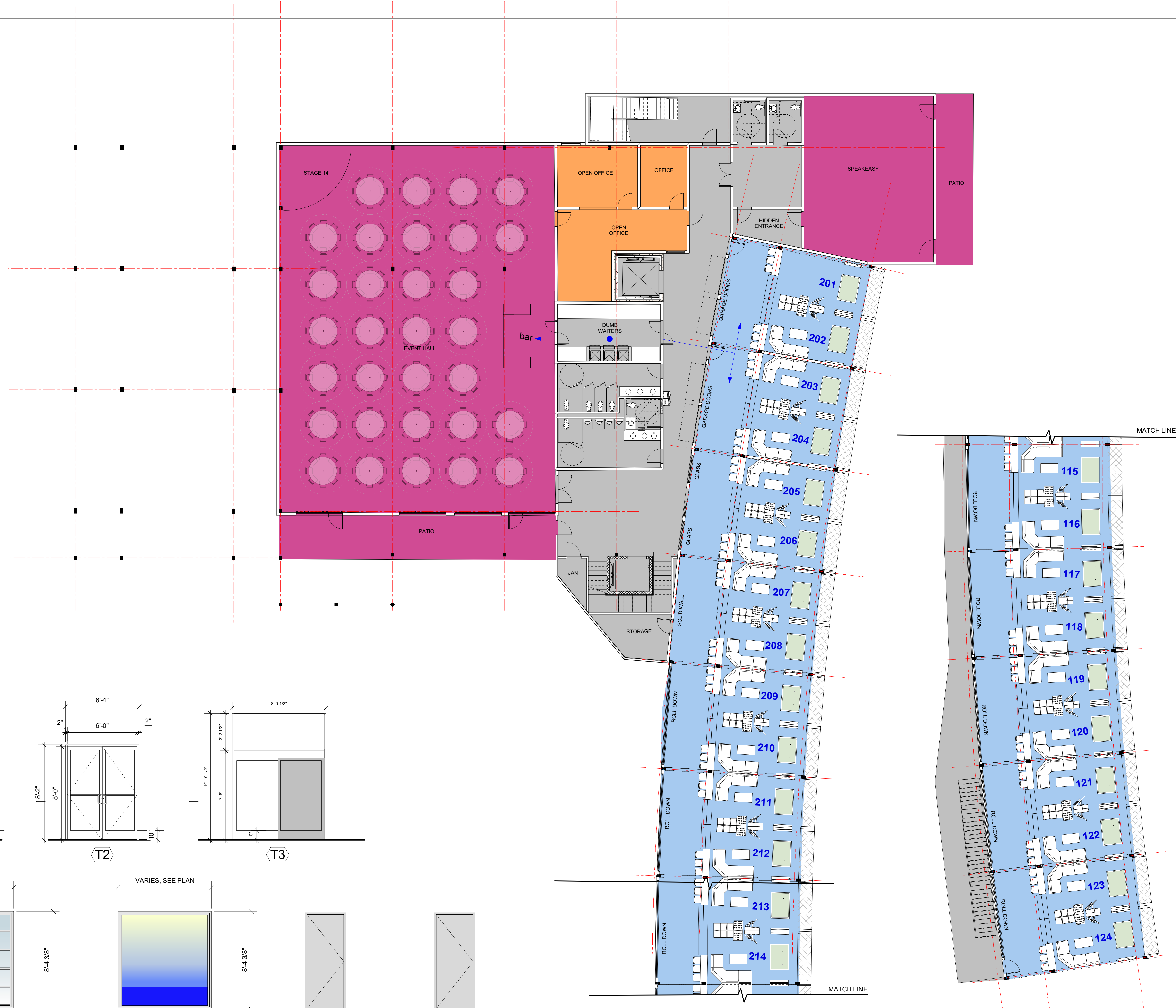
D INTERIOR SINGLE LEAF 1-3/4" HOLLOW METAL DOOR 2" METAL FRAME WIDTH

1 PLAN Scale: 1" = 10 ft

WDS

410 SOUTH MICHIGAN AVE SUITE 512
 CHICAGO ILLINOIS 60605
 312.583.7087 ERICH@WDS-AD.COM

JOB # 2207		ZONING CASE: 22023-035
TEXAS WEDGE FACILITY ROCKWALL, TX		
SUBMISSION		
DATE	DESCRIPTION	
07.19.2023	SCHEMATIC REDESIGN	
08.07.2023	SUP COMMENT REVISIONS	
FIRST FLOOR PLAN		A-1.1



WALL TYPE **A**

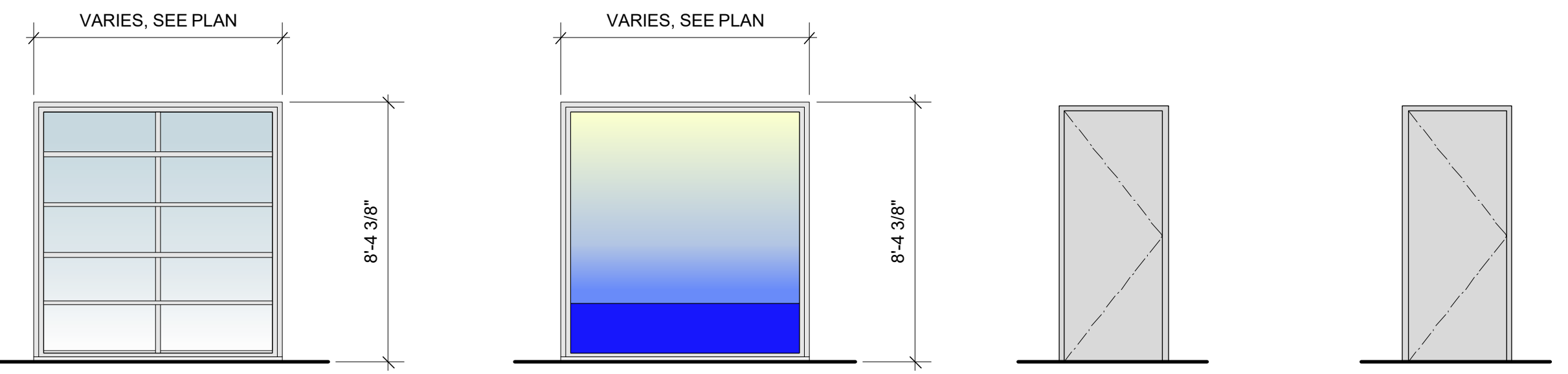
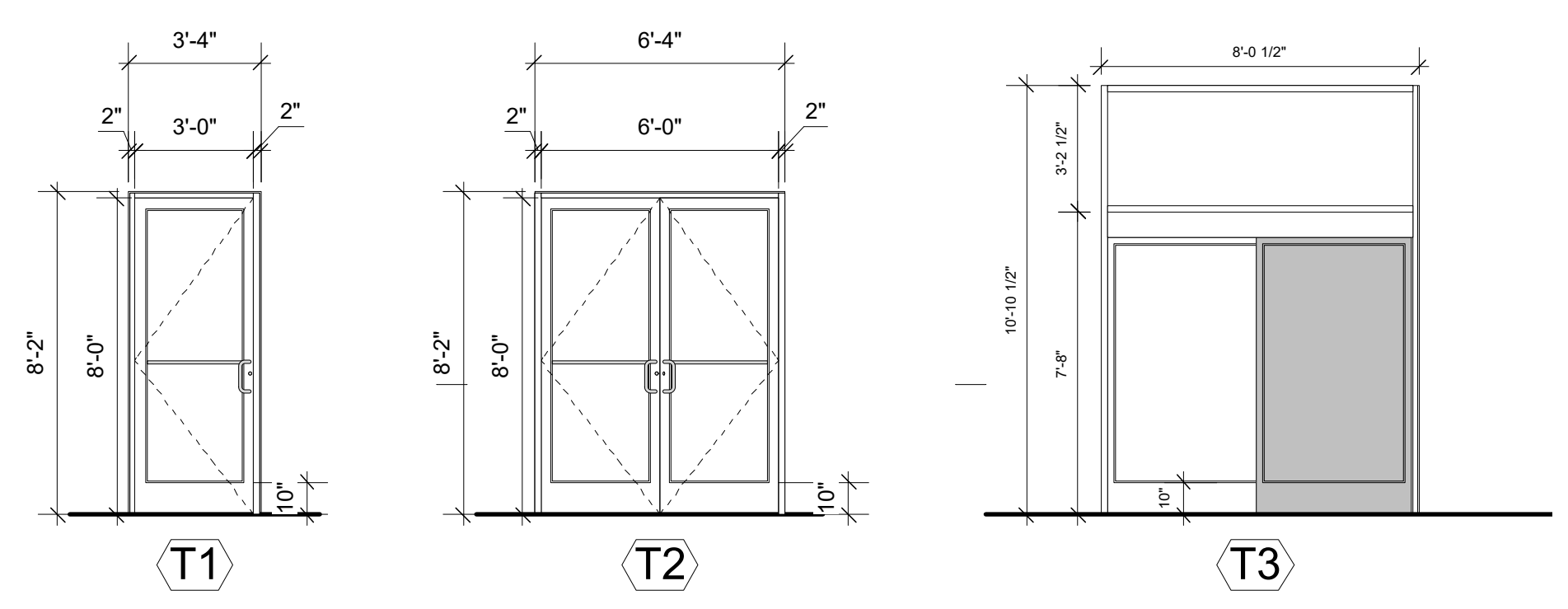
WALL TYPE **B**

ROOF TYPE **A**

7.2 PANEL CORRUGATED METAL - WESTERN STATES METAL ROOFING "WESTERN RIB" OR EQUAL
 ALUMINUM ST CLIP
 POLYISO THERMAL INSULATION (R-21)
 CONTINUOUS FULLY ADHERED AIR / VAPOR CONTROL LAYER
 METAL DECK - 7.2 METAL CORRUGATED METAL PANEL
 RE: STRUCTURAL
 ROOF PURLINS - STEEL TUBES
 RE: STRUCTURAL

ROOF TYPE **B**

7.2 PANEL CORRUGATED METAL - WESTERN STATES METAL ROOFING "WESTERN RIB" OR EQUAL



A CLOPAY 903 ARCHITECTURAL OVERHEAD DOOR
 ALUMINUM FRAME
 CLEAR ACRYLIC PANEL
 POLYZONE SILVER20XTRA FILM, SHGC .19
 MECHANICALLY OPERATED
 MAX 0.90 U-FACTOR PER
 IECC 2018

B PROGRESSIVE COMMERCIAL
 SCREEN


C EXTERIOR SINGLE LEAF
 1-3/4" HOLLOW
 METAL DOOR
 2" METAL FRAME WIDTH
 MAX 0.90 U-FACTOR PER
 IECC 2018

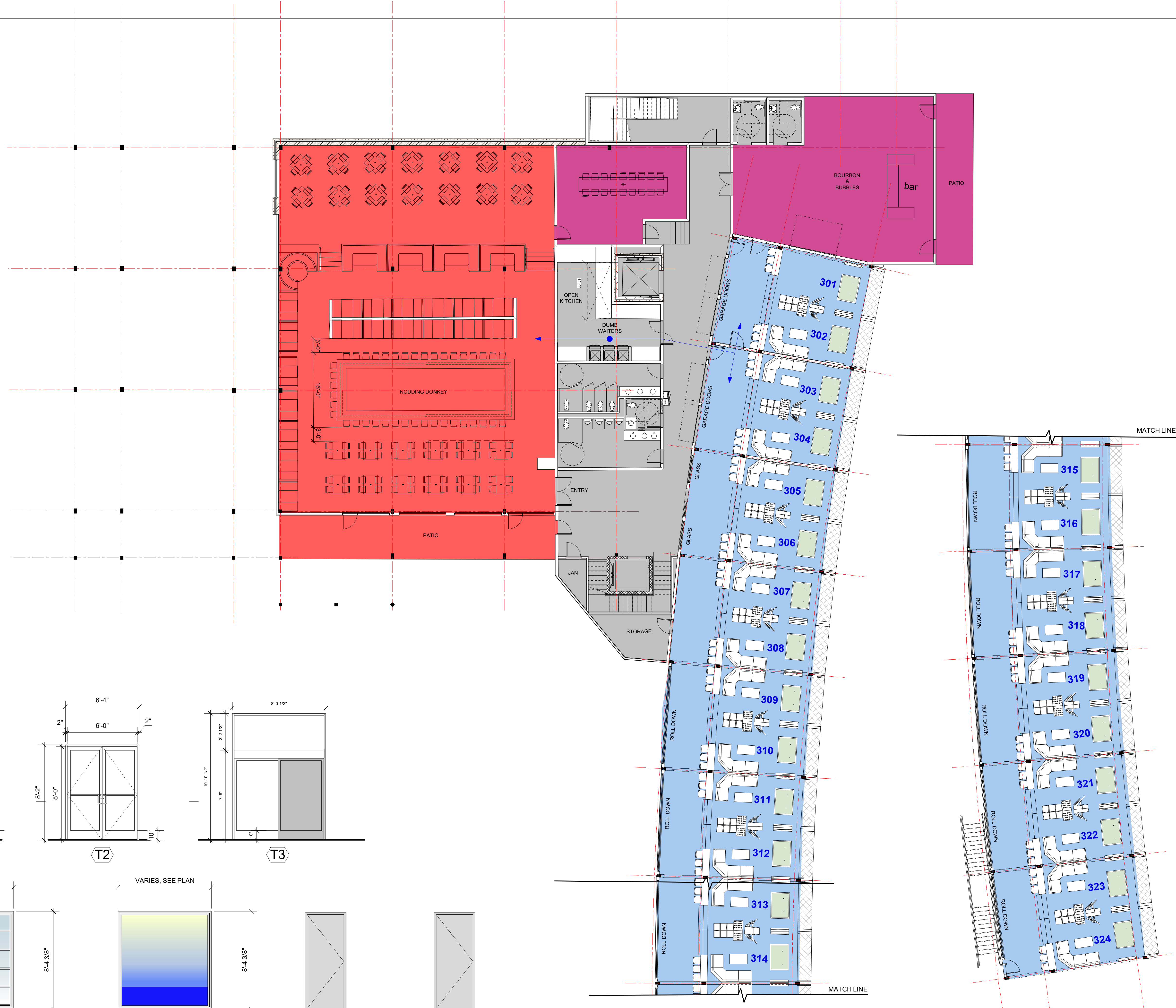
D INTERIOR SINGLE LEAF
 1-3/4" HOLLOW
 METAL DOOR
 2" METAL FRAME WIDTH

1 PLAN
 Scale: 1" = 10 ft

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DATE	DESCRIPTION	
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08.07.2023	SUP COMMENT REVISIONS	
SECOND FLOOR PLAN		A-1.2



WALL TYPE **A**

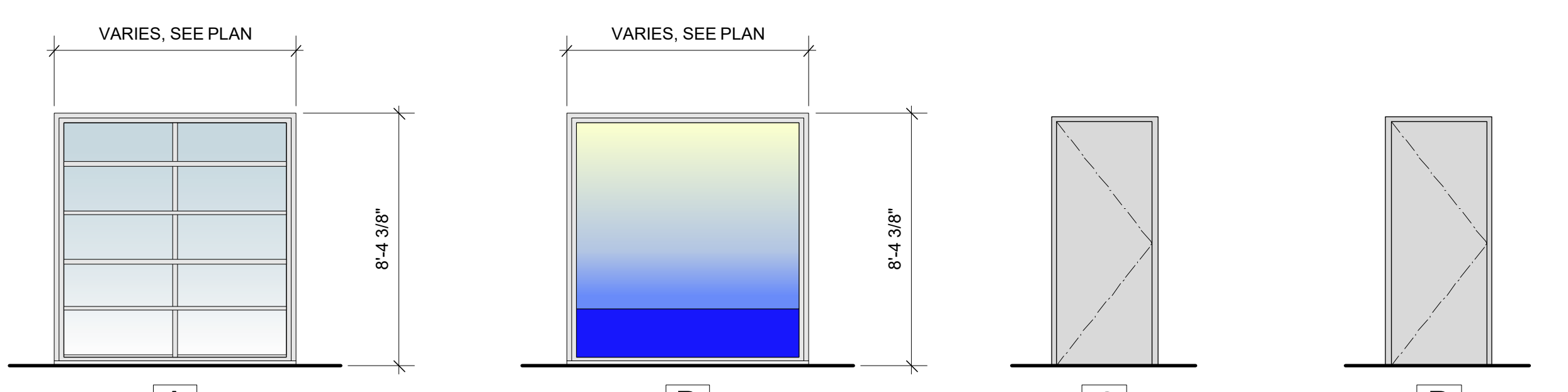
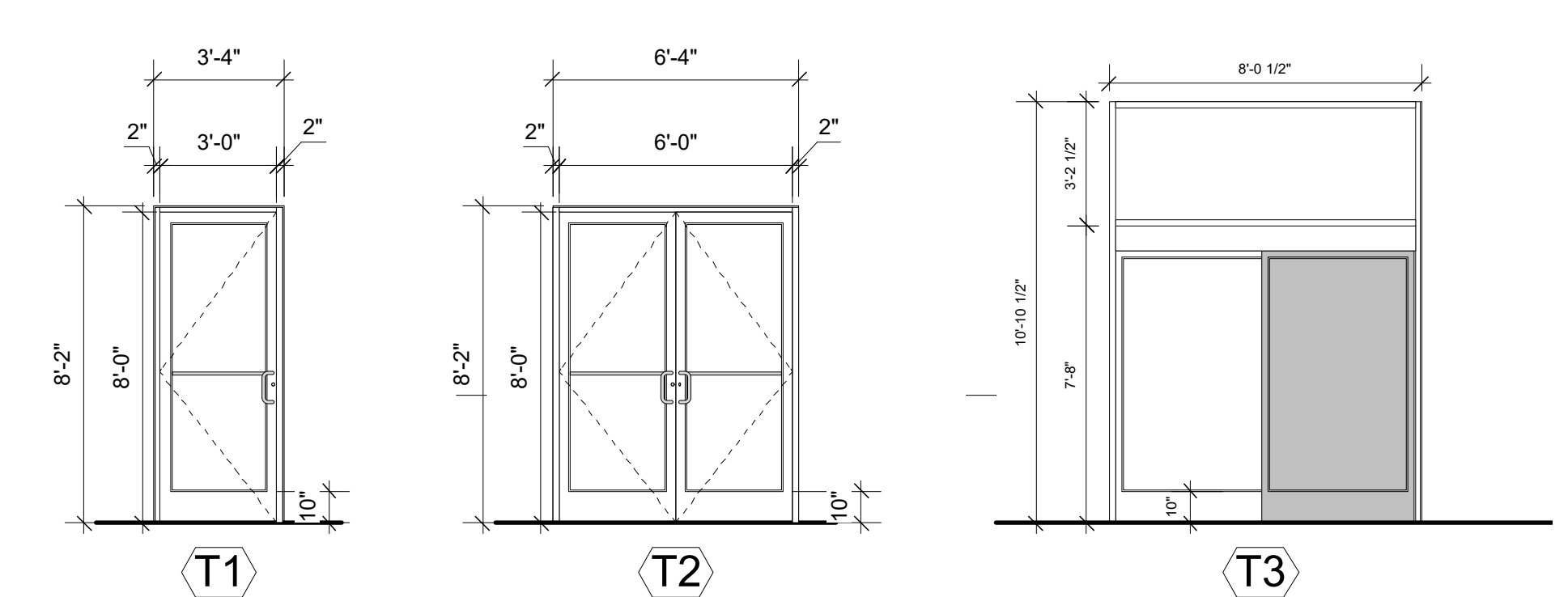
WALL TYPE **B**

ROOF TYPE **A**

7.2 PANEL CORRUGATED METAL - WESTERN STATES METAL ROOFING "WESTERN RIB" OR EQUAL
 ALUMINUM ST CLIP
 POLYISO THERMAL INSULATION (R-21)
 CONTINUOUS FULLY ADHERED AIR / VAPOR CONTROL LAYER
 METAL DECK - 7.2 METAL CORRUGATED METAL PANEL
 RE: STRUCTURAL
 ROOF PURLINS - STEEL TUBES
 RE: STRUCTURAL

ROOF TYPE **B**

7.2 PANEL CORRUGATED METAL - WESTERN STATES METAL ROOFING "WESTERN RIB" OR EQUAL



A CLOPAY 903 ARCHITECTURAL OVERHEAD DOOR
 ALUMINUM FRAME
 CLEAR ACRYLIC PANEL
 POLYZONE SILVER20XTRA FILM, SHGC .19
 MECHANICALLY OPERATED
 MAX 0.90 U-FACTOR PER IECC 2018

B PROGRESSIVE COMMERCIAL SCREEN


C EXTERIOR SINGLE LEAF
 1-3/4" HOLLOW METAL DOOR
 2" METAL FRAME WIDTH
 MAX 0.90 U-FACTOR PER IECC 2018

D INTERIOR SINGLE LEAF
 1-3/4" HOLLOW METAL DOOR
 2" METAL FRAME WIDTH

1 PLAN
 Scale: 1" = 10 ft

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 312.583.7087 ERICH@WDS-AD.COM

JOB # 2207		ZONING CASE: Z2023-035
TEXAS WEDGE FACILITY ROCKWALL, TX		
SUBMISSION		
DATE	DESCRIPTION	
07.19.2023	SCHEMATIC REDESIGN	
08.07.2023	SUP COMMENT REVISIONS	

THIRD FLOOR PLAN **A-1.3**




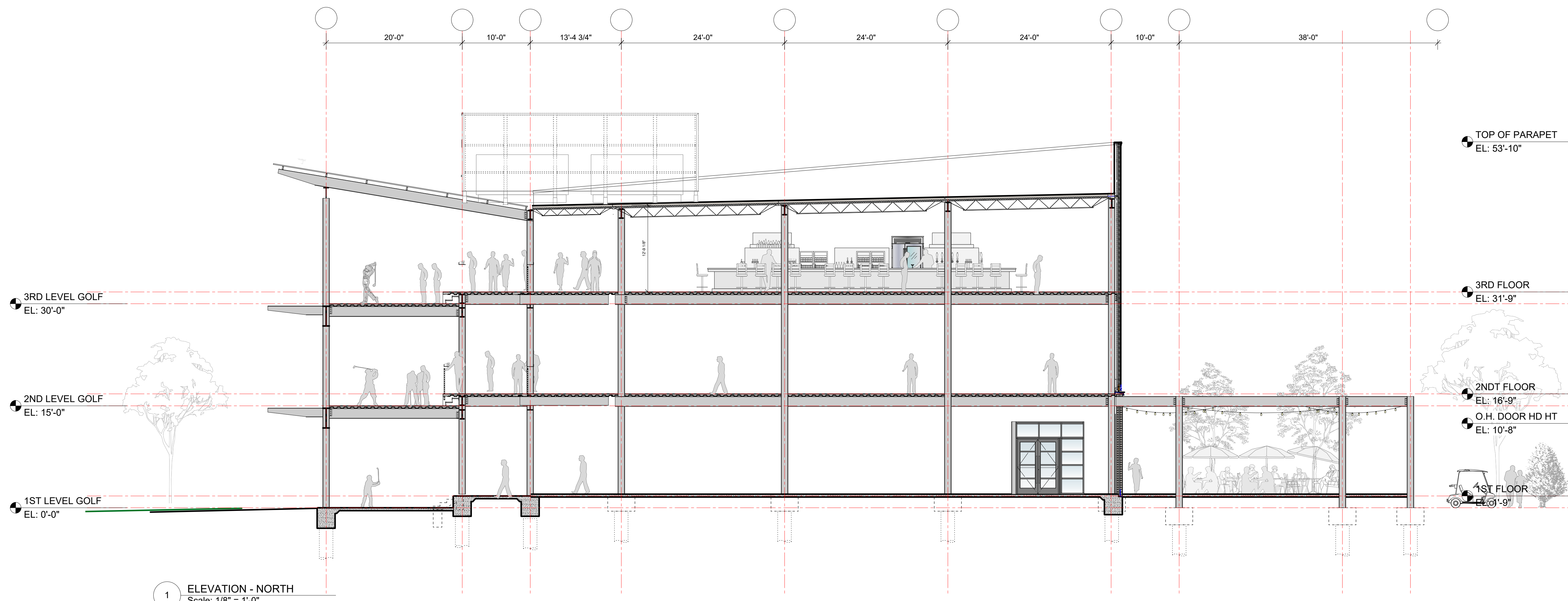
USE	TOTAL SF	SPACES/SF	TOTAL SPACES
REC CLUB	24,900	1/250	100
LIMITED SERVICE RESTAURANT	5,401	1/250	22
FULL SERVICE RESTAURANT	6,932	1/100	70
PRIVATE CLUB	8,624	1/100	87
MINI GOLF	28 HOLES	1/HOLE	28
OFFICE	1,363	1/300	5

COMPLETE TOTAL 321

WDS

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JOB # 2207		ZONING CASE: Z2023-035
TEXAS WEDGE FACILITY ROCKWALL, TX		
SUBMISSION		
DATE	DESCRIPTION	
07.19.2023	SCHEMATIC REDESIGN	
08.07.2023	SUP COMMENT REVISIONS	
PLANS		A-1.4



1 ELEVATION - NORTH
Scale: 1/8" = 1'-0"

WALL TYPE A

ANCHORED BRICK VENEER- ADJUSTABLE WALL TIES AT 16" O.C. VERTICALLY AND 24" O.C HORIZONTALLY

2" AIR SPACE

CAVITY INSERT/MORTAR COLLECTION DEVICE

WEEP VENTS

2" CONT. XPS RIGID INSULATION W/ DRAINAGE CHANNELS

FLUID-APPLIED AIR/WATER/VAPOR INFILTRATION BARRIER

5/8" EXTERIOR GRADE GYPSUM SHEATHING

6" METAL STUDS STUDS AT 16" O.C.

R-13 UNFACED FIBERGLASS BATT

5/8" GYPSUM BOARD W/ PAINT

WALL TYPE B

VERTICAL CORRUGATED METAL PANELS - BRIDGERSTEEL "ULTRA BATTEN METAL WALL PANEL" OR APPROVED EQUAL

THERMALLY BROKEN CLADDING ATTACHMENT SYSTEM (KNIGHT WALL HCI SYSTEM OR EQUAL)

2" CONT. XPS RIGID INSULATION W/ DRAINAGE CHANNELS

FLUID-APPLIED AIR/WATER/VAPOR INFILTRATION BARRIER

5/8" EXTERIOR GRADE GYPSUM SHEATHING

6" METAL STUDS STUDS AT 16" O.C.

R-13 UNFACED FIBERGLASS BATT

5/8" GYPSUM BOARD W/ PAINT

ROOF TYPE A

60 MIL SINGLE PLY FULLY ADHERED TPO ROOF MEMBRANE

1/4" COVER BOARD (DENSDECK PRIME ROOF BOARD OR EQUAL)

POLYISO THERMAL INSULATION (R-21)

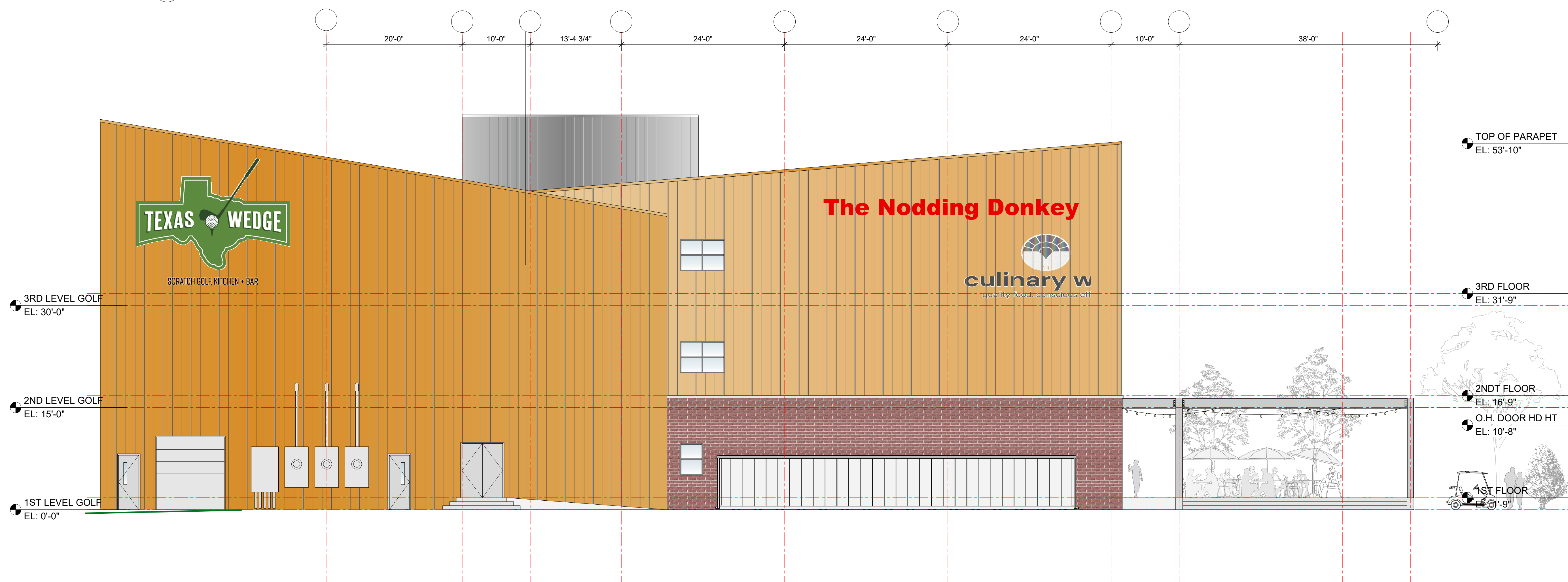
CONTINUOUS FULLY ADHERED AIR / VAPOR CONTROL LAYER

METAL DECK - RE: STRUCTURAL

ROOF JOISTS - RE: STRUCTURAL

ROOF TYPE B

7.2 PANEL CORRUGATED METAL - WESTERN STATES METAL ROOFING "WESTERN RIB" OR EQUAL



1 ELEVATION - NORTH
Scale: 1/8" = 1'-0"

TOP OF PARAPET
EL: 53'-10"

3RD FLOOR
EL: 31'-9"

2NDT FLOOR
EL: 16'-9"

O.H. DOOR HD HT
EL: 10'-8"

1ST FLOOR
EL: 0'-9"

TOP OF PARAPET
EL: 53'-10"

3RD FLOOR
EL: 31'-9"

2NDT FLOOR
EL: 16'-9"

O.H. DOOR HD HT
EL: 10'-8"

1ST FLOOR
EL: 0'-9"

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JOB # 2207
TEXAS WEDGE FACILITY
ROCKWALL, TX

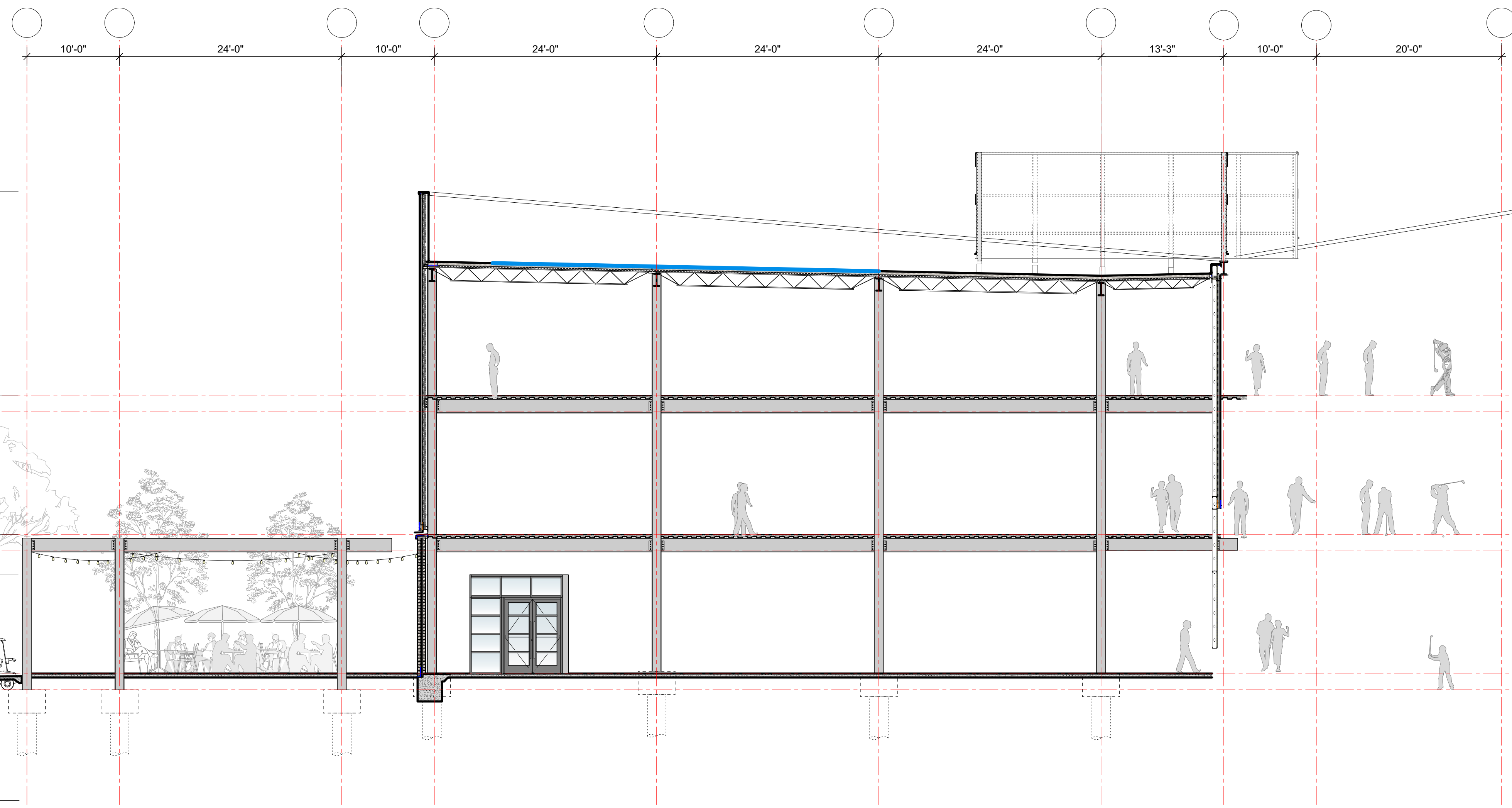
ZONING CASE:
22023-035

SUBMISSION	
DATE	DESCRIPTION
07.19.2023	SCHEMATIC REDESIGN
08.07.2023	SUP COMMENT REVISIONS



SECTION / ELEVATIONS

A-2.0



1 SECTION
Scale: 1/8" = 1'-0"

WALL TYPE A

ANCHORED BRICK VENEER- ADJUSTABLE WALL TIES AT 16" O.C. VERTICALLY AND 24" O.C HORIZONTALLY

2" AIR SPACE

CAVITY INSERT/MORTAR COLLECTION DEVICE

WEEP VENTS

2" CONT. XPS RIGID INSULATION W/ DRAINAGE CHANNELS

FLUID-APPLIED AIR/WATER/VAPOR INFILTRATION BARRIER

5/8" EXTERIOR GRADE GYPSUM SHEATHING

6" METAL STUDS STUDS AT 16" O.C.

R-13 UNFACED FIBERGLASS BATT

5/8" GYPSUM BOARD W/ PAINT

WALL TYPE B

VERTICAL CORRUGATED METAL PANELS - BRIDGERSTEEL "ULTRA BATTEN METAL WALL PANEL" OR APPROVED EQUAL

THERMALLY BROKEN CLADDING ATTACHMENT SYSTEM (KNIGHT WALL HCI SYSTEM OR EQUAL)

2" CONT. XPS RIGID INSULATION W/ DRAINAGE CHANNELS

FLUID-APPLIED AIR/WATER/VAPOR INFILTRATION BARRIER

5/8" EXTERIOR GRADE GYPSUM SHEATHING

6" METAL STUDS STUDS AT 16" O.C.

R-13 UNFACED FIBERGLASS BATT

5/8" GYPSUM BOARD W/ PAINT

ROOF TYPE A

60 MIL SINGLE PLY FULLY ADHERED TPO ROOF MEMBRANE

1/4" COVER BOARD (DENSDECK PRIME ROOF BOARD OR EQUAL)

POLYISO THERMAL INSULATION (R-21)

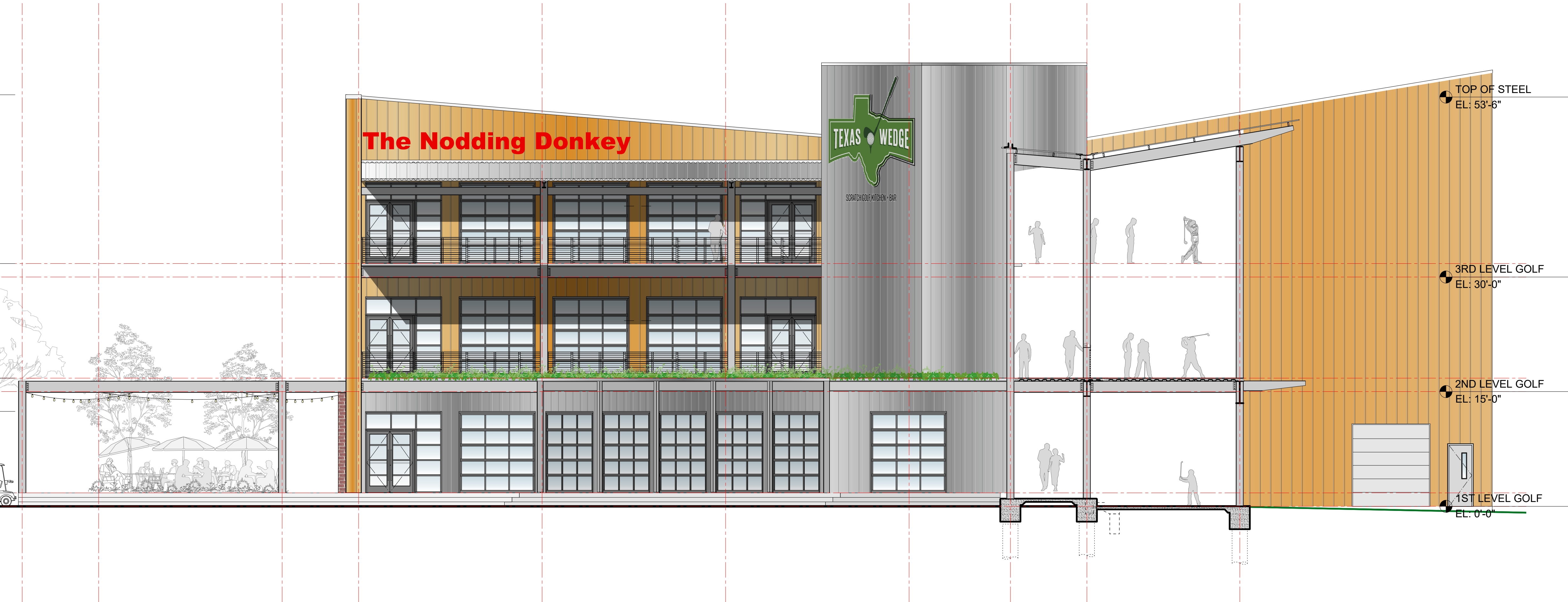
CONTINUOUS FULLY ADHERED AIR / VAPOR CONTROL LAYER

METAL DECK - RE: STRUCTURAL

ROOF JOISTS - RE: STRUCTURAL

ROOF TYPE B


7.2 PANEL CORRUGATED METAL - WESTERN STATES METAL ROOFING "WESTERN RIB" OR EQUAL

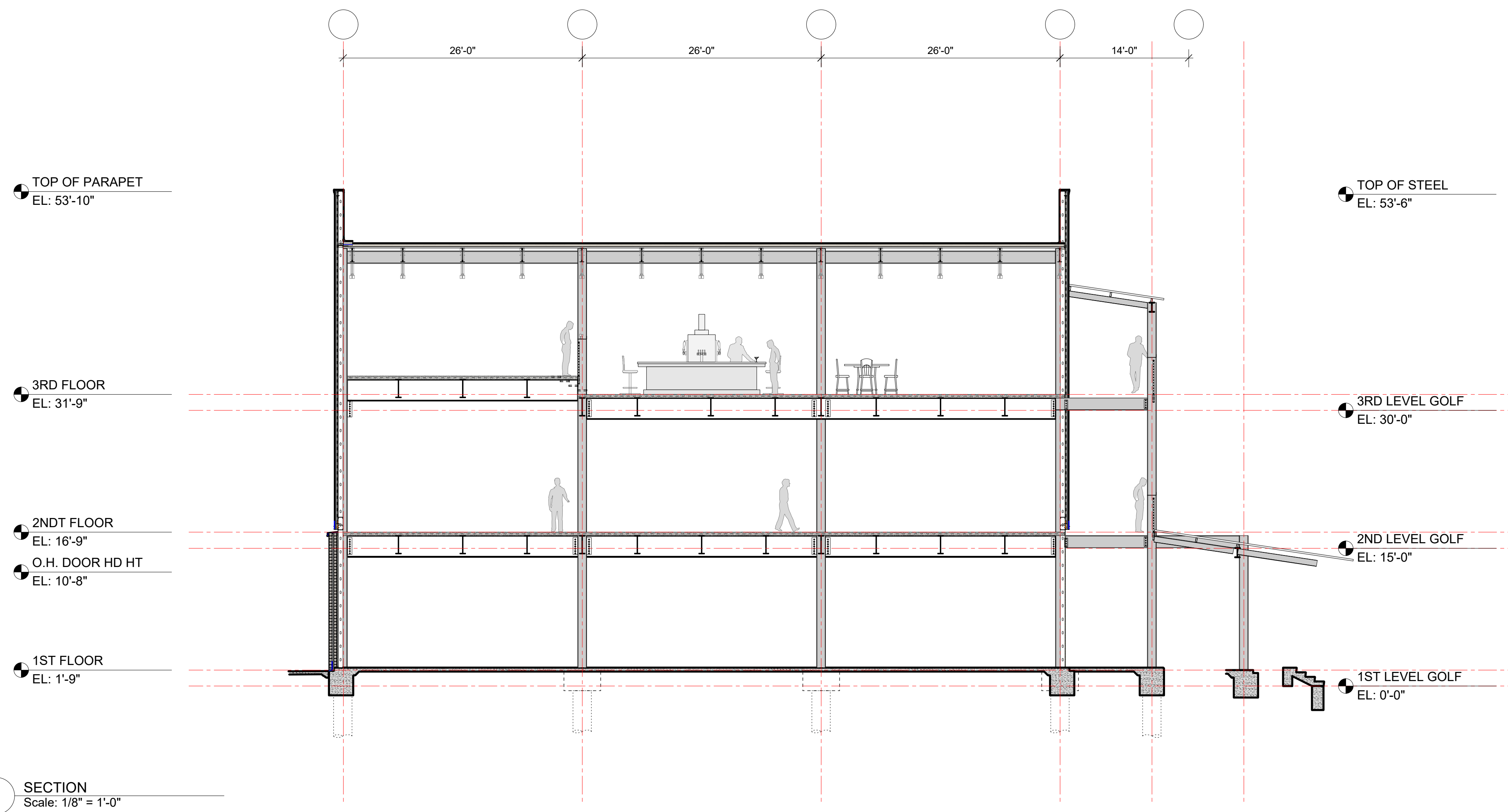


2 ELEVATION
Scale: 1/8" = 1'-0"

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SECTION / ELEVATIONS		A-2.1



1 SECTION
Scale: 1/8" = 1'-0"

WALL TYPE A

ANCHORED BRICK VENEER- ADJUSTABLE WALL TIES AT 16" O.C. VERTICALLY AND 24" O.C HORIZONTALLY

2" AIR SPACE

CAVITY INSERT/MORTAR COLLECTION DEVICE

WEEP VENTS

2" CONT. XPS RIGID INSULATION W/ DRAINAGE CHANNELS

FLUID-APPLIED AIR/WATER/VAPOR INFILTRATION BARRIER

5/8" EXTERIOR GRADE GYPSUM SHEATHING

6" METAL STUDS STUDS AT 16" O.C.

R-13 UNFACED FIBERGLASS BATT

5/8" GYPSUM BOARD W/ PAINT

WALL TYPE B

VERTICAL CORRUGATED METAL PANELS - BRIDGERSTEEL "ULTRA BATTEN METAL WALL PANEL" OR APPROVED EQUAL

THERMALLY BROKEN CLADDING ATTACHMENT SYSTEM (KNIGHT WALL HCI SYSTEM OR EQUAL)

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ROOF TYPE A

60 MIL SINGLE PLY FULLY ADHERED TPO ROOF MEMBRANE

1/4" COVER BOARD (DENSDECK PRIME ROOF BOARD OR EQUAL)

POLYISO THERMAL INSULATION (R-21)

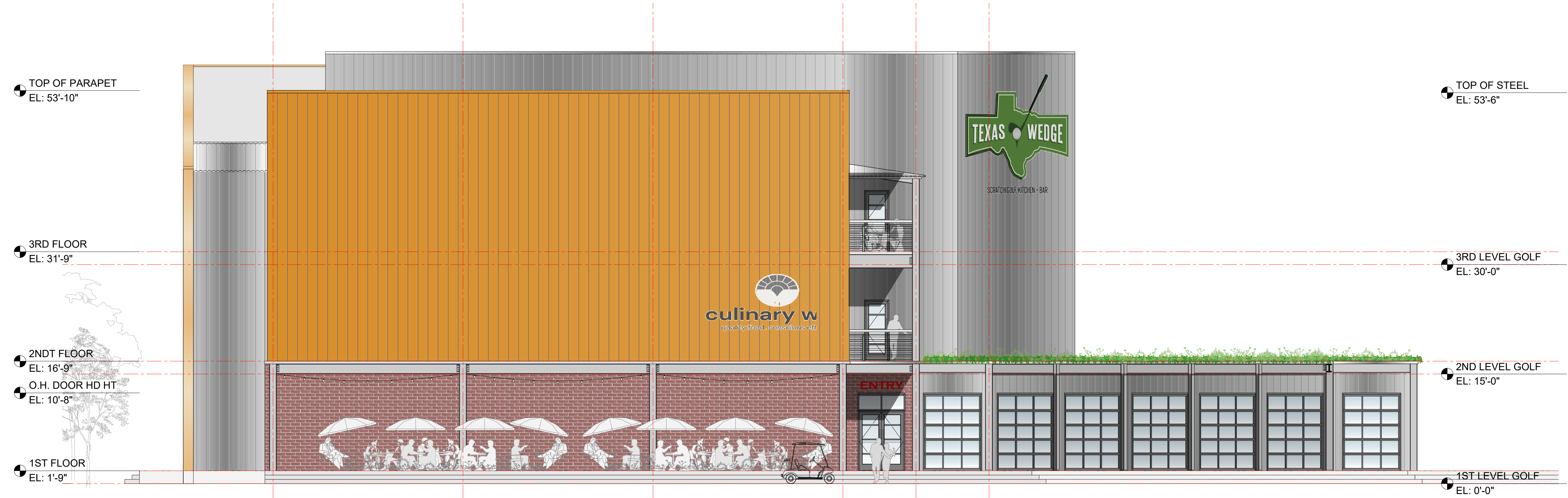
CONTINUOUS FULLY ADHERED AIR / VAPOR CONTROL LAYER

METAL DECK - RE: STRUCTURAL

ROOF JOISTS - RE: STRUCTURAL

ROOF TYPE B


7.2 PANEL CORRUGATED METAL - WESTERN STATES METAL ROOFING "WESTERN RIB" OR EQUAL

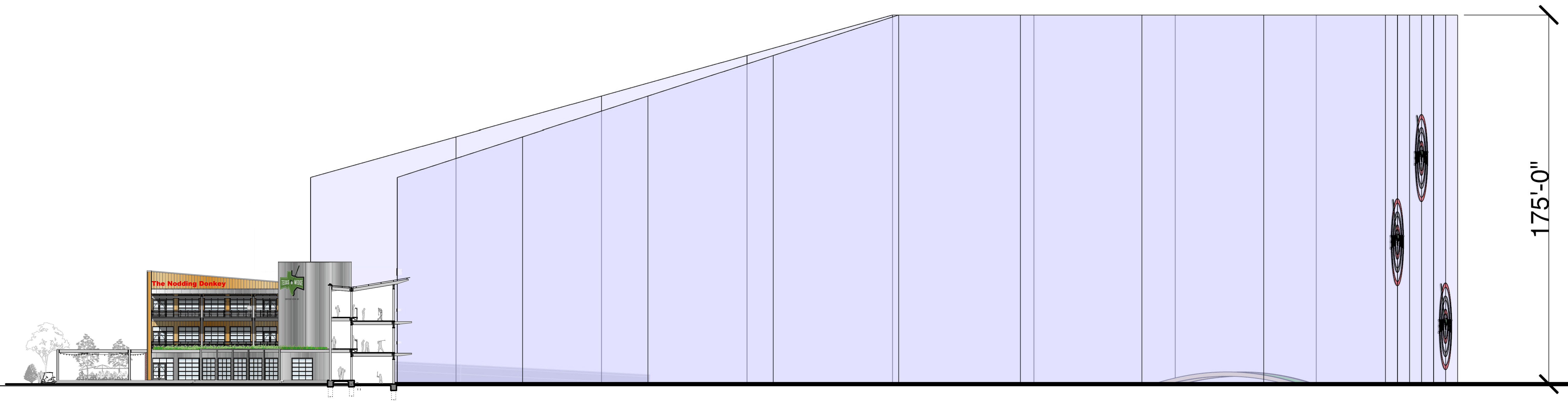


2 ELEVATION
Scale: 1/8" = 1'-0"

WDS

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JOB # 2207		ZONING CASE: Z2023-035
TEXAS WEDGE FACILITY ROCKWALL, TX		
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07.19.2023	SCHEMATIC REDESIGN	
08.07.2023	SUP COMMENT REVISIONS	
SECTION / ELEVATIONS		A-2.2



NETTING HEIGHT

WA# 19144.02 PRINTED: 8/8/2023 STB FILE: WIER-SURVEY.STB LAST SAVED: 8/8/2023 10:29 AM SAVED BY: RENEW FILE: 2023-6-29 PROPERTY METES & BOUNDS DESC - 19144.02.DWG

BAR IS ONE INCH ON ORIGINAL FULL-SIZE PRINT

9.942 ACRE TRACT

BEING A TRACT OF LAND LOCATED IN THE ROBERT BOYD IRVINE SURVEY, ABSTRACT NO. 120, ROCKWALL COUNTY, TEXAS, BEING A PORTION OF A TRACT OF LAND DESCRIBED IN A DEED TO STRUCTURED REA-ROCKWALL LAND, LLC, RECORDED IN INSTRUMENT NO. 20210000001622, OFFICIAL PUBLIC RECORDS, ROCKWALL COUNTY, TEXAS (O.P.R.C.C.T.), AND BEING MORE PARTICULARLY DESCRIBED BY METES AND BOUNDS AS FOLLOWS:

BEGINNING AT A 1/2" IRON ROD FOUND, SAID IRON ROD BEING A NORTHEAST CORNER OF SAID STRUCTURED TRACT, THE SOUTHEAST CORNER OF A TRACT OF LAND DESCRIBED IN A DEED TO JOWERS, INC., RECORDED IN VOLUME 1215, PAGE 155, DEED RECORDS, ROCKWALL COUNTY, TEXAS (D.R.R.C.T.), AND IN THE WEST LINE OF A TRACT OF LAND DESCRIBED IN A DEED TO RUSTY WALLIS FAMILY LIMITED PARTNERSHIP #2, RECORDED IN VOLUME 4014, PAGE 173, D.R.R.C.T.;

THENCE S 01'41'51" E, ALONG AN EAST LINE OF SAID STRUCTURED TRACT AND THE WEST LINE OF SAID RUSTY WALLIS TRACT, 345.16 FEET TO A POINT;

THENCE S 71'45'12" W, DEPARTING AN EAST LINE OF SAID STRUCTURED TRACT AND THE WEST LINE OF SAID RUSTY WALLIS TRACT, 505.08 FEET TO A POINT, BEING THE BEGINNING OF A NON-TANGENT CURVE TO THE LEFT;

THENCE SOUTHERLY, AN ARC LENGTH OF 255.29 FEET ALONG SAID NON-TANGENT CURVE TO THE LEFT, HAVING A RADIUS OF 830.00 FEET, A DELTA ANGLE OF 17'37'23", AND A CHORD BEARING S 89'49'15" W, A DISTANCE OF 254.29 FEET TO A POINT;

THENCE S 81'00'34" W, A DISTANCE OF 305.78 FEET TO A POINT IN THE NORTH RIGHT-OF-WAY LINE OF FIT SPORT LIFE BOULEVARD (A 60' RIGHT-OF-WAY), BEING THE BEGINNING OF A CURVE TO THE RIGHT;

THENCE NORTHWESTERLY DEPARTING SAID FIT SPORT LIFE BOULEVARD, AN ARC LENGTH OF 31.42 FEET ALONG SAID CURVE TO THE RIGHT, HAVING A RADIUS OF 20.00 FEET, A DELTA ANGLE OF 90'00'00", AND A CHORD BEARING OF N 53'59'26" W, A DISTANCE OF 28.28 FEET TO A POINT;

THENCE N 08'59'26" W, A DISTANCE OF 356.88 FEET TO A POINT, FROM WHICH A 5/8" IRON ROD FOUND WITH A PINK CAP STAMPED "TXDOT" BEARS S 87'49'28" W, 726.69 FEET, SAID IRON ROD BEING THE NORTHWEST CORNER OF SAID STRUCTURED TRACT AND BEING THE INTERSECTION OF THE EAST RIGHT-OF-WAY LINE OF CORPORATE CROSSING (VARIABLE WIDTH RIGHT-OF-WAY) WITH THE SOUTH RIGHT-OF-WAY LINE OF INTERSTATE HIGHWAY NO. 30 (VARIABLE WIDTH RIGHT-OF-WAY);

THENCE N 72'46'09" E, A DISTANCE OF 602.14 FEET TO A POINT IN THE WEST LINE OF SAID JOWERS TRACT AND THE MOST NORTHERLY EAST LINE OF SAID STRUCTURED TRACT;

THENCE S 01'36'16" E, ALONG THE WEST LINE OF SAID JOWERS TRACT AND THE MOST NORTHERLY EAST LINE OF SAID STRUCTURED TRACT, A DISTANCE OF 121.40 FEET TO A POINT, BEING THE SOUTHWEST CORNER OF SAID JOWERS TRACT;

THENCE N 76'34'05" E, ALONG THE SOUTH LINE OF SAID JOWERS TRACT AND THE MOST EASTERLY NORTH LINE OF SAID STRUCTURED TRACT, A DISTANCE OF 540.70 FEET TO THE PLACE OF BEGINNING AND CONTAINING 9.942 ACRES (433,054 SQUARE FEET) OF LAND, MORE OR LESS.

WIA SURVEYOR PREPARING THIS EXHIBIT:
WIER & ASSOCIATES, INC.

2201 E. LAMAR BLVD., SUITE 200E ARLINGTON, TEXAS 76006 METRO (817)467-7700
Texas Firm Registration No. F-2776 www.WierAssociates.com
Texas Board of Professional Land Surveying Registration No. 10033900

9.942 ACRE TRACT
CITY OF ROCKWALL, COUNTY OF ROCKWALL, TEXAS

DRAWN BY: RTC
APPROVED: _____

SHEET NO. 1 OF 1

REV.

CITY OF ROCKWALL

ORDINANCE NO. 22-52

SPECIFIC USE PERMIT NO. S-287

AN ORDINANCE OF THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS, AMENDING THE UNIFIED DEVELOPMENT CODE [*ORDINANCE NO. 20-02*] OF THE CITY OF ROCKWALL, TEXAS, AS PREVIOUSLY AMENDED, SO AS TO GRANT A SPECIFIC USE PERMIT (SUP) TO ALLOW FOR A *GOLF DRIVING RANGE* ON A 7.955-ACRE TRACT OF LAND BEING A PORTION OF A LARGER 18.13-ACRE TRACT OF LAND AND A 12.868-ACRE TRACT OF LAND IDENTIFIED AS TRACT 22 & 22-2 OF THE R. IRVINE SURVEY, ABSTRACT NO 120, CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS; PROVIDING FOR SPECIAL CONDITIONS; PROVIDING FOR A PENALTY OR FINE NOT TO EXCEED THE SUM OF TWO THOUSAND DOLLARS (\$2,000.00) FOR EACH OFFENSE; PROVIDING FOR A SEVERABILITY CLAUSE; PROVIDING FOR A REPEALER CLAUSE; PROVIDING FOR AN EFFECTIVE DATE.

WHEREAS, a request has been made by Renee Ward, PE of Weir & Associates on behalf of Conor Keilty, AIA of Structured REA-Rockwall Land, LLC for the approval of a Specific Use Permit (SUP) for a *Golf Driving Range* on a 7.955-acre parcel of land, zoned Commercial (C) District, situated within the IH-30 Overlay (IH-30 OV) District, being identified as a portion of a larger 18.13-acre tract of land and a 12.868-acre tract of land further identified as Tract 22 & 22-2 of the R. Irvine Survey, Abstract No. 120, City of Rockwall, Rockwall County, Texas, generally located near the terminus of Fit Sport Life Boulevard, and being more specifically described in *Exhibit 'A'* of this ordinance, which herein after shall be referred to as the *Subject Property* and incorporated by reference herein; and

WHEREAS, the Planning and Zoning Commission of the City of Rockwall and the governing body of the City of Rockwall, in compliance with the laws of the State of Texas and the ordinances of the City of Rockwall, have given the requisite notices by publication and otherwise, and have held public hearings and afforded a full and fair hearing to all property owners generally, and to all persons interested in and situated in the affected area and in the vicinity thereof, the governing body in the exercise of its legislative discretion has concluded that the Unified Development Code [*Ordinance No. 20-02*] of the City of Rockwall should be amended as follows:

NOW, THEREFORE, BE IT ORDAINED BY THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS:

SECTION 1. That the Unified Development Code [*Ordinance No. 20-02*] of the City of Rockwall, as heretofore amended, be and the same is hereby amended so as to grant a Specific Use Permit (SUP) allowing for the establishment of a *Golf Driving Range* as stipulated by Article 04, *Permissible Uses*, of the Unified Development Code [*Ordinance No. 20-02*] on the *Subject Property*; and

SECTION 2. That the *Subject Property* shall be used and developed only in the manner and for the purposes described in this Specific Use Permit (SUP) ordinance and as specifically set forth in Subsection 01.01, *Land Use Schedule*, of Article 04, *Permissible Uses*, and Subsection 04.01, *General Commercial District Standards*; Subsection 04.05, *Commercial (C) District*; and Subsection 06.02, *General Overlay District Standards*, of Article 05, *District Development*

Standards, of the Unified Development Code [*Ordinance No. 20-02*] of the City of Rockwall -- as heretofore amended and may be amended in the future -- and with the following conditions:

2.1 OPERATIONAL CONDITIONS

The following conditions pertain to the operation of a *Golf Driving Range* on the *Subject Property* and conformance to these requirements is necessary for continued operations:

- 1) The development and operation of a *Golf Driving Range* shall generally conform to the *Concept Plan* depicted in *Exhibit 'B'* and *Concept Building Elevations* depicted in *Exhibit 'C'* of this ordinance.
- 2) The maximum height of the netting and support structures shall not exceed 200-feet and shall generally conform to *Exhibit 'D'* of this ordinance.

2.2 COMPLIANCE

Approval of this ordinance in accordance with Subsection 02.02, *Specific Use Permits (SUP)*, of Article 11, *Development Applications and Review Procedures*, of the Unified Development Code (UDC) will require the *Subject Property* to comply with the following:

- 1) Upon obtaining a *Certificate of Occupancy (CO)*, should the business owner operating under the guidelines of this ordinance fail to meet the minimum operational requirements set forth herein and outlined in the Unified Development Code (UDC), the City may (after proper notice) initiate proceedings to revoke the Specific Use Permit (SUP) in accordance with Subsection 02.02(F), *Revocation*, of Article 11, *Development Applications and Review Procedures*, of the Unified Development Code (UDC) [*Ordinance No. 20-02*].

SECTION 3. That the official zoning map of the City be corrected to reflect the changes in zoning described herein.

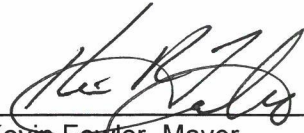
SECTION 4. That all ordinances of the City of Rockwall in conflict with the provisions of this ordinance be, and the same are hereby repealed to the extent of that conflict.

SECTION 5. Any person, firm, or corporation violating any of the provisions of this ordinance shall be deemed guilty of a misdemeanor and upon conviction shall be punished by a penalty of fine not to exceed the sum of *TWO THOUSAND DOLLARS (\$2,000.00)* for each offence and each and every day such offense shall continue shall be deemed to constitute a separate offense.

SECTION 6. If any section or provision of this ordinance or the application of that section or provision to any person, firm, corporation, situation or circumstance is for any reason judged invalid, the adjudication shall not affect any other section or provision of this ordinance or the application of any other section or provision to any other person, firm, corporation, situation or circumstance, and the City Council declares that it would have adopted the valid portions and applications of the ordinance without the invalid parts and to this end the provisions of this ordinance shall remain in full force and effect.

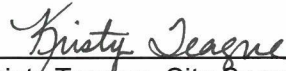
SECTION 7. That this ordinance shall take effect immediately from and after its passage.

PASSED AND APPROVED BY THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS, THIS THE 3RD DAY OF OCTOBER, 2022.



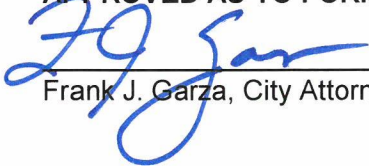
Kevin Fowler, Mayor

ATTEST:



Kristy Teague, City Secretary

APPROVED AS TO FORM:



Frank J. Garza, City Attorney



1st Reading: September 19, 2022

2nd Reading: October 3, 2022

Exhibit 'A':
Legal Description

BEING A TRACT OF LAND LOCATED IN THE ROBERT BOYD IRVINE SURVEY, ABSTRACT NO. 120, ROCKWALL COUNTY, TEXAS, BEING A PORTION OF A TRACT OF LAND DESCRIBED IN A DEED TO STRUCTURED REA-ROCKWALL LAND, LLC, RECORDED IN INSTRUMENT NO. 20210000001622, OFFICIAL PUBLIC RECORDS, ROCKWALL COUNTY, TEXAS (O.P.R.C.C.T.), AND BEING MORE PARTICULARLY DESCRIBED BY METES AND BOUNDS AS FOLLOWS:

BEGINNING AT A 1/2" IRON ROD FOUND, SAID IRON ROD BEING A NORTHEAST CORNER OF SAID STRUCTURED TRACT, THE SOUTHEAST CORNER OF A TRACT OF LAND DESCRIBED IN A DEED TO JOWERS, INC., RECORDED IN VOLUME 1215, PAGE 155, DEED RECORDS, ROCKWALL COUNTY, TEXAS (D.R.R.C.T.), AND IN THE WEST LINE OF A TRACT OF LAND DESCRIBED IN A DEED TO RUSTY WAWS FAMILY LIMITED, PARTNERSHIP #2. RECORDED IN VOLUME 4014, PAGE 173, D.R.R.C.T., FROM WHICH A 5/8" IRON ROD FOUND WITH A PINK CAP STAMPED "TXDOT" BEARS N 01'41'51" W, 384.88 FEET, SAID IRON ROD BEING THE NORTHEAST CORNER OF SAID JOWERS TRACT AND THE NORTHWEST CORNER OF SAID RUSTY WALLIS TRACT;

THENCE S 01'41'51" E, ALONG AN EAST LINE OF SAID STRUCTURED TRACT AND THE WEST LINE OF SAID RUSTY WAWS TRACT, 390.33 FEET TO A POINT:

THENCE S 66'40'31" W, DEPARTING AN EAST LINE OF SAID STRUCTURED TRACT AND THE WEST LINE OF SAID RUSTY WAWS TRACT, 554.53 FEET TO A POINT;

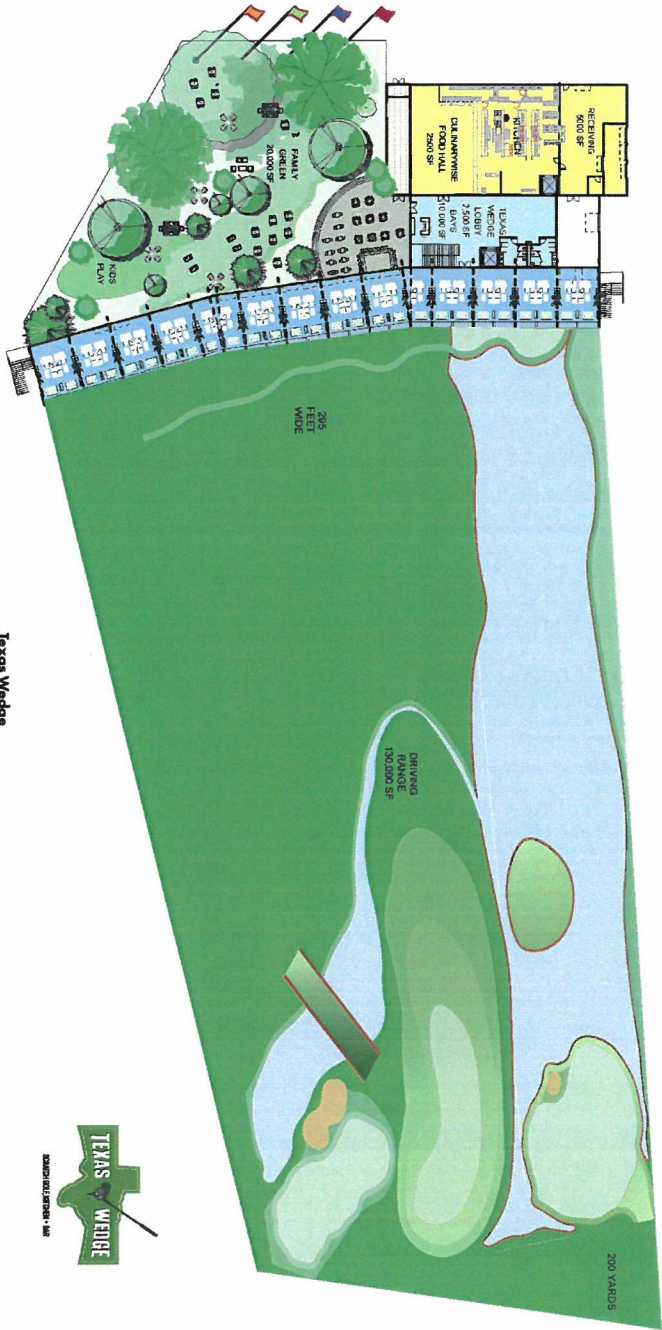
THENCE N 69'37'39" W, A DISTANCE OF 307.50 FEET TO A POINT, BEING THE BEGINNING OF A NON-TANGENT CURVE TO THE RIGHT;

THENCE NORTHWESTERLY, AN ARC LENGTH OF 3.78 FEET ALONG SAID NON-TANGENT CURVE TO THE RIGHT, HAVING A RADIUS OF 20.00 FEET, A DELTA ANGLE OF 10'50'27", AND A CHORD BEARING OF N 14'22'25" W, 3.78 FEET TO A POINT;

THENCE N 08'57'11" W, A DISTANCE OF 303.51 FEET TO A POINT, FROM WHICH A 5/8" IRON ROD FOUND WITH A PINK CAP STAMPED "TXDOT" BEARS S 89'22'04" W, 996.58 FEET, SAID IRON ROD BEING THE NORTHWEST CORNER OF SAID STRUCTURED TRACT AND BEING THE INTERSECTION OF THE EAST RIGHT-OF-WAY LINE OF CORPORATE CROSSING (VARIABLE WIDTH RIGHT-OF-WAY) WITH THE SOUTH RIGHT-OF-WAY LINE OF INTERSTATE HIGHWAY NO. 30 (VARIABLE WIDTH RIGHT-OF-WAY):

THENCE N 76'34'05" E, AT A DISTANCE OF 316.84 FEET PASSING THE SOUTHWEST CORNER OF SAID JOWERS TRACT, AND CONTINUING ALONG THE SOUTH LINE OF SAID JOWERS TRACT AND A NORTH LINE OF SAID STRUCTURED TRACT A TOTAL DISTANCE OF 857.54 FEET TO THE PLACE OF BEGINNING AND CONTAINING 7.955 ACRES (346,532 SQUARE FEET) OF LAND, MORE OR LESS.

**Exhibit 'B':
Concept Plan**



20,000 Green Space

Central secure green space for families to gather. Outdoor entertainment and shaded trees provide a safe and relaxing environment for family gathering. Canopy covered raised bar for live music.

Texas Wedge

Texas Wedge has been designed to be an unforgettable experience for golf enthusiasts, amateurs, and families alike. Focused on five-star guest service, the latest interactive golf technology and professional quality golf equipment. In each of the 81 bays, guests will swing Cleveland Wedges and drive Stron golf balls as they play their choice of 200 of the most famous golf courses from around the world, thanks to Track Master technology. In the driving range area, guests will have access to 3-5 signature holes from some of the most well-known PGA courses.

A true entertainment destination for families and adults alike, the fun doesn't stop at golf! The second floor of Texas Wedge will be home to 12 lanes of bowling, a full arcade and five party rooms, perfect for birthday parties, corporate events and more. Go up one more level and you'll find yourself in the Nodding Donkey Sports Saloon, a full-service bar and kitchen with two private rooms (The Bourbon Room & The Bubbly Room) exclusively for adults. Each room will have private bathrooms, a bar, a balcony and two golf bays. Texas Wedge has truly been designed to be the premiere entertainment destination for families and adults alike in beautiful Rockwell, TX.

WDS
wading design studio

ROCKWALL CASE # Z2022-041

Exhibit 'B':
Concept Plan

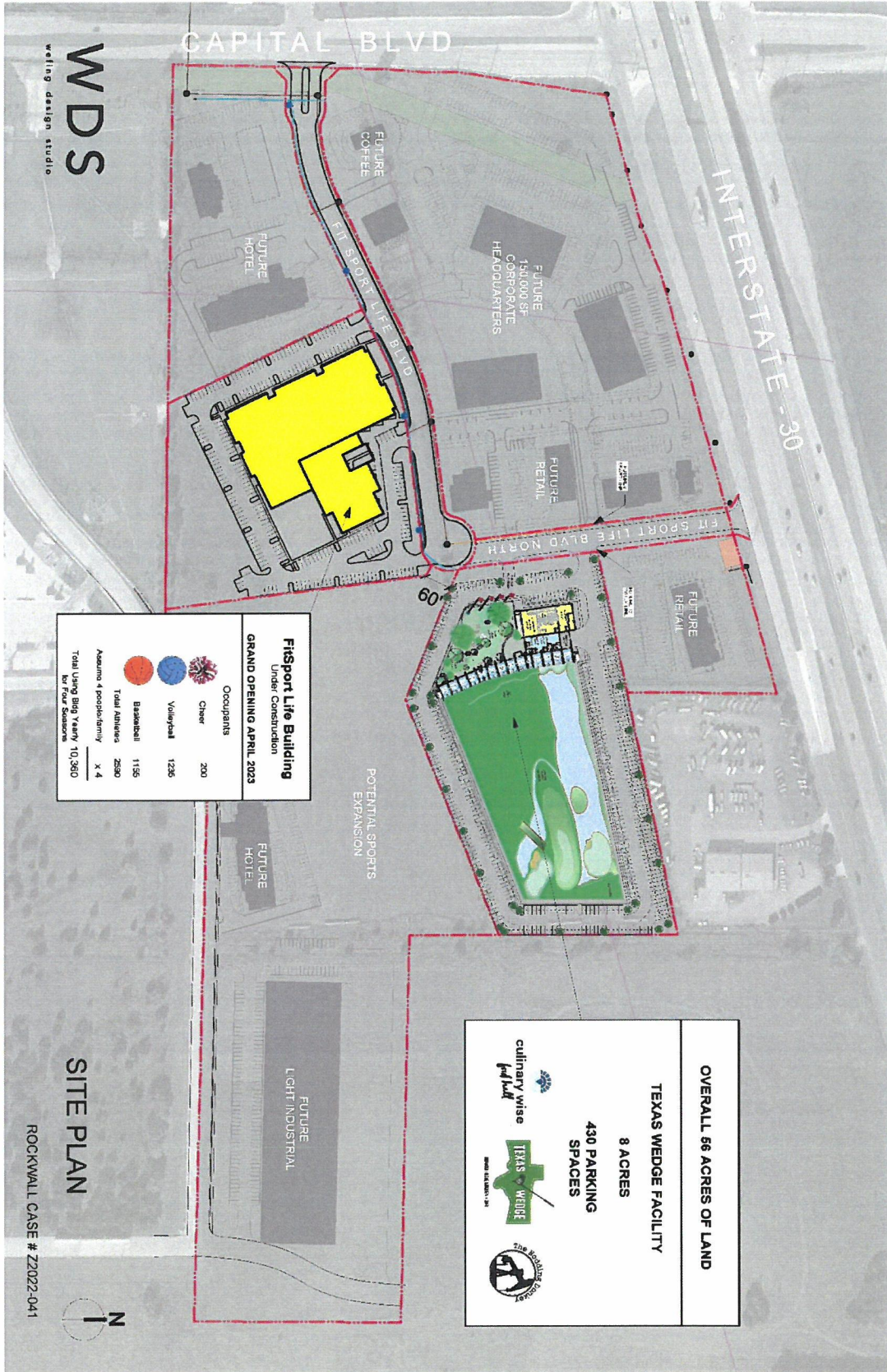
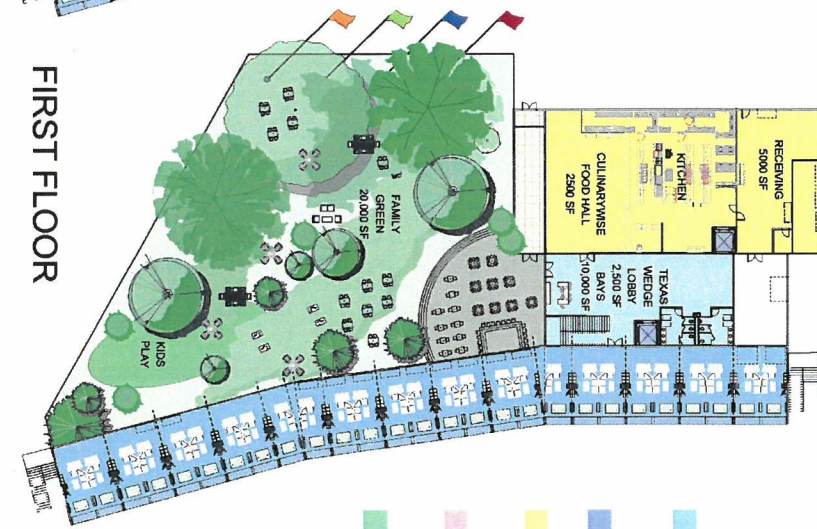
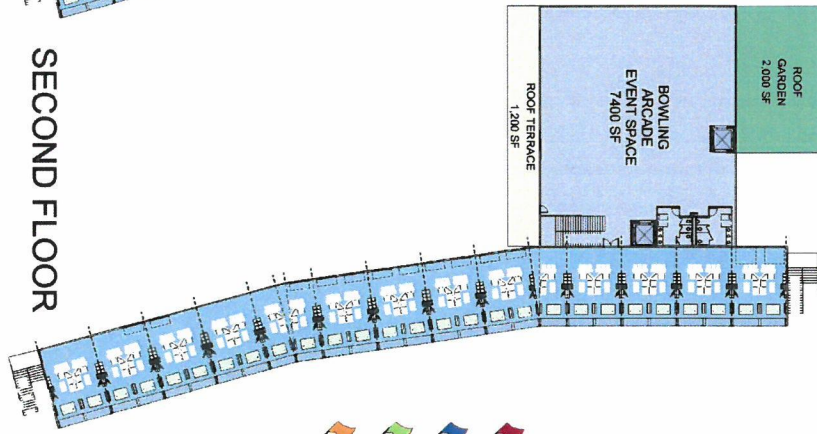
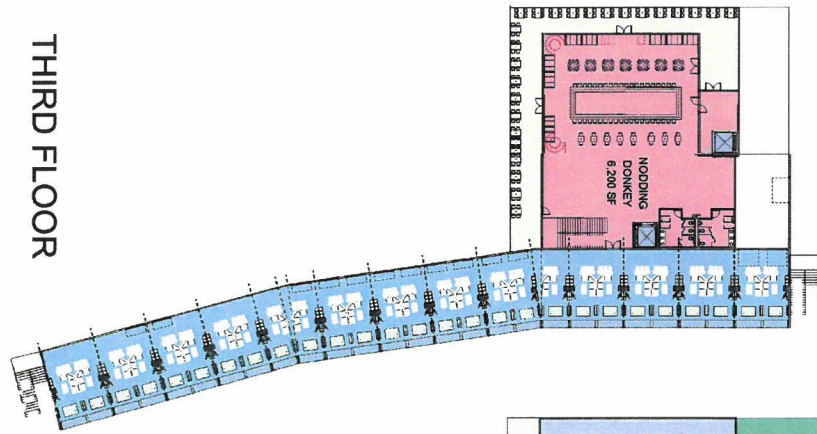


Exhibit 'B':
Concept Plan

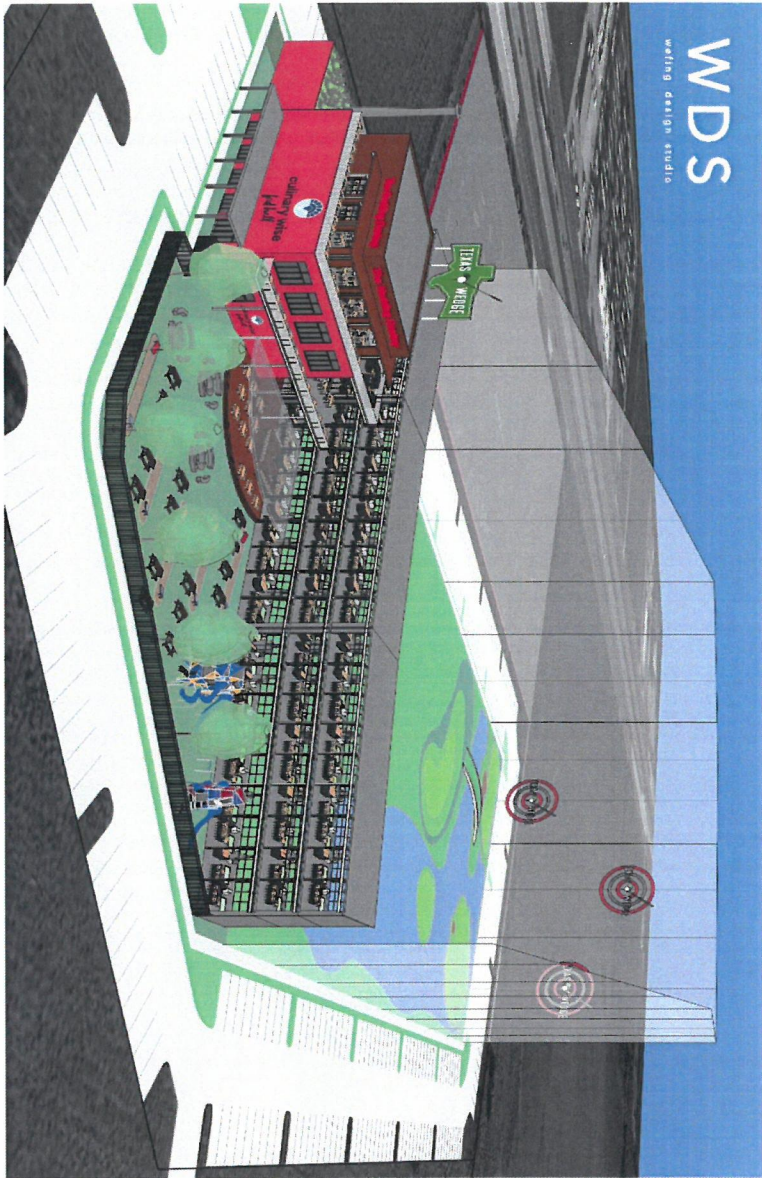
WDS
weir design studio



	TEXAS WEDGE
	2,500 SF ENCLOSED
	30,000 SF OPEN AIR
	BOWLING/ARCADE
	7,400 SF ENCLOSED
	CULINARY WISE
	2,500 SF MARKET
	500 SF SERVICE
	NODDING DONKEY
	6,200 SF ENCLOSED
	2,000 SF OPEN AIR
	FAMILY GREEN
	20,000 SF OPEN AIR
TOTAL	
	22,500 SF ENCLOSED
	52,000 SF OPEN AIR

ROCKWALL CASE # Z2022-041

Exhibit 'C': Concept Building Elevations



WDS
wedding design studio



Texas Wedge

Texas Wedge has been designed to be an unforgettable experience for golf enthusiasts, amateurs, and families alike, focused on five-star guest service, the latest interactive golf technology and professional quality golf equipment. In each of the 81 bays, guests will swing Cleveland Wedges and drive Sixon golf balls as they play their choice of 200 of the most famous golf courses from around the world, thanks to Track Master technology. In the driving range area, guests will have access to 3-5 signature holes from some of the most well-known PGA courses.

A five entertainment destination for families and adults alike, the fun doesn't stop at golf! The second floor of Texas Wedge will be home to 12 lanes of bowling, a full arcade and five party rooms, perfect for birthday parties, corporate events and more. Go up one more level and you'll find yourself in The Nodding Donkey Sports Saloon, a full-service bar and kitchen with two private rooms (The Bourbon Room & The Bubbly Room), exclusivity for adults. Each room will have private bathrooms, a bar, a balcony and two golf bays. Texas Wedge has truly been designed to be the premiere entertainment destination for families and adults alike in beautiful Rockwall, TX.

20,000 Green Space

Central secure green space for families to gather. Outdoor entertainment and shaded trees provide a safe and relaxing environment for family gathering. Canopy covered raised bar for live music.

Culinary Wise Food Hall



As the parent company of our restaurant, Culinary Wise unites our concepts as one brand. The Culinary Wise Food Hall is a literal physical representation of that unity, with four of our most popular restaurant concepts under one roof, as well as a few offerings that have been served through our catering business for over 20 years. As the sole owner and operator of the food hall, unlike other food halls which rent space to individual restaurant owners, we'll have full oversight of the quality and consistency in both our offerings and our service. The food hall will have 2,500 sq ft of kitchen and entry space with 120 indoor seats and an indoor/outdoor bar that seats 12 on both sides. There will also be 80 seats outside along with a covered & gated playground for children aged 2-12 years.

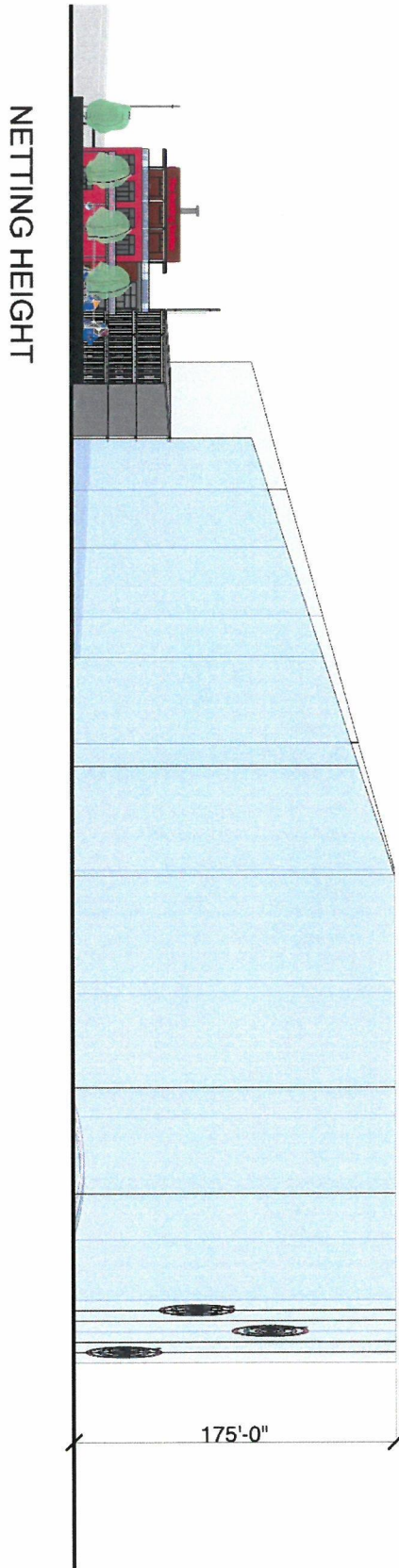


The Nodding Donkey - Texas Sports Saloon, Scratch Kitchen

Opened in 2010, The Nodding Donkey quickly became the go-to sports saloon in Uptown Dallas. Our menu offerings for the Texas Wedge outpost of The Nodding Donkey will be a hybrid of the restaurant's tex-mex and game day favorites, along with share items including steaks, pork chops & pasta from sister restaurant State & Allen. Located on the third floor of Texas Wedge as part of the 15,000 sq. foot open air design, The Nodding Donkey will have ample seating with 300+ seats inside, 200+ outside and 60 at the rectangular bar. With 60 TVs and a live concert venue sharing the 15,000 sq ft space, there will always be something to enjoy at The Nodding Donkey! Rockwall residents looking for a place to plan an event will also love our 5,000 sq ft private event hall overlooking the stage and outdoor bar. This larger space can also be rearranged into four 1,250 sq ft spaces to accommodate smaller parties.

ROCKWALL CASE # Z2022-041

Exhibit 'D':
Golf Netting Height



WDS
wating design studio

ROCKWALL CASE # Z2022-041

Exhibit 'A':
Legal Description

BEING A TRACT OF LAND LOCATED IN THE ROBERT BOYD IRVINE SURVEY, ABSTRACT NO. 120, ROCKWALL COUNTY, TEXAS, BEING A PORTION OF A TRACT OF LAND DESCRIBED IN A DEED TO STRUCTURED REA-ROCKWALL LAND, LLC, RECORDED IN INSTRUMENT NO. 20210000001622, OFFICIAL PUBLIC RECORDS, ROCKWALL COUNTY, TEXAS (O.P.R.C.C.T.), AND BEING MORE PARTICULARLY DESCRIBED BY METES AND BOUNDS AS FOLLOWS:

BEGINNING AT A 1/2" IRON ROD FOUND, SAID IRON ROD BEING A NORTHEAST CORNER OF SAID STRUCTURED TRACT, THE SOUTHEAST CORNER OF A TRACT OF LAND DESCRIBED IN A DEED TO JOWERS, INC., RECORDED IN VOLUME 1215, PAGE 155, DEED RECORDS, ROCKWALL COUNTY, TEXAS (D.R.R.C.T.), AND IN THE WEST LINE OF A TRACT OF LAND DESCRIBED IN A DEED TO RUSTY WALLIS FAMILY LIMITED PARTNERSHIP #2, RECORDED IN VOLUME 4014, PAGE 173, D.R.R.C.T.;

THENCE S 01°41'51" E, ALONG AN EAST LINE OF SAID STRUCTURED TRACT AND THE WEST LINE OF SAID RUSTY WALLIS TRACT, 345.16 FEET TO A POINT;

THENCE S 71°45'12" W, DEPARTING AN EAST LINE OF SAID STRUCTURED TRACT AND THE WEST LINE OF SAID RUSTY WALLIS TRACT, 505.08 FEET TO A POINT, BEING THE BEGINNING OF A NON-TANGENT CURVE TO THE LEFT;

THENCE SOUTHERLY, AN ARC LENGTH OF 255.29 FEET ALONG SAID NON-TANGENT CURVE TO THE LEFT, HAVING A RADIUS OF 830.00 FEET, A DELTA ANGLE OF 17°37'23", AND A CHORD BEARING S 89°49'15" W, A DISTANCE OF 254.29 FEET TO A POINT;

THENCE S 81°00'34" W, A DISTANCE OF 305.78 FEET TO A POINT IN THE NORTH RIGHT-OF-WAY LINE OF FIT SPORT LIFE BOULEVARD (A 60' RIGHT-OF-WAY), BEING THE BEGINNING OF A CURVE TO THE RIGHT;

THENCE NORTHWESTERLY DEPARTING SAID FIT SPORT LIFE BOULEVARD, AN ARC LENGTH OF 31.42 FEET ALONG SAID CURVE TO THE RIGHT, HAVING A RADIUS OF 20.00 FEET, A DELTA ANGLE OF 90°00'00", AND A CHORD BEARING OF N 53°59'26" W, A DISTANCE OF 28.28 FEET TO A POINT;

THENCE N 08°59'26" W, A DISTANCE OF 356.88 FEET TO A POINT, FROM WHICH A 5/8" IRON ROD FOUND WITH A PINK CAP STAMPED "TXDOT" BEARS S 87°49'28" W, 726.69 FEET, SAID IRON ROD BEING THE NORTHWEST CORNER OF SAID STRUCTURED TRACT AND BEING THE INTERSECTION OF THE EAST RIGHT-OF-WAY LINE OF CORPORATE CROSSING (VARIABLE WIDTH RIGHT-OF-WAY) WITH THE SOUTH RIGHT-OF-WAY LINE OF INTERSTATE HIGHWAY NO. 30 (VARIABLE WIDTH RIGHT-OF-WAY);

THENCE N 72°46'09" E, A DISTANCE OF 602.14 FEET TO A POINT IN THE WEST LINE OF SAID JOWERS TRACT AND THE MOST NORTHERLY EAST LINE OF SAID STRUCTURED TRACT;

THENCE S 01°36'16" E, ALONG THE WEST LINE OF SAID JOWERS TRACT AND THE MOST NORTHERLY EAST LINE OF SAID STRUCTURED TRACT, A DISTANCE OF 121.40 FEET TO A POINT, BEING THE SOUTHWEST CORNER OF SAID JOWERS TRACT;

THENCE N 76°34'05" E, ALONG THE SOUTH LINE OF SAID JOWERS TRACT AND THE MOST EASTERLY NORTH LINE OF SAID STRUCTURED TRACT, A DISTANCE OF 540.70 FEET TO THE PLACE OF BEGINNING AND CONTAINING 9.942 ACRES (433,054 SQUARE FEET) OF LAND, MORE OR LESS.

**Exhibit 'B':
Concept Plan**



6.7 ACRES
Fitsport Life Building
Under Construction
GRAND OPENING MAY 2023

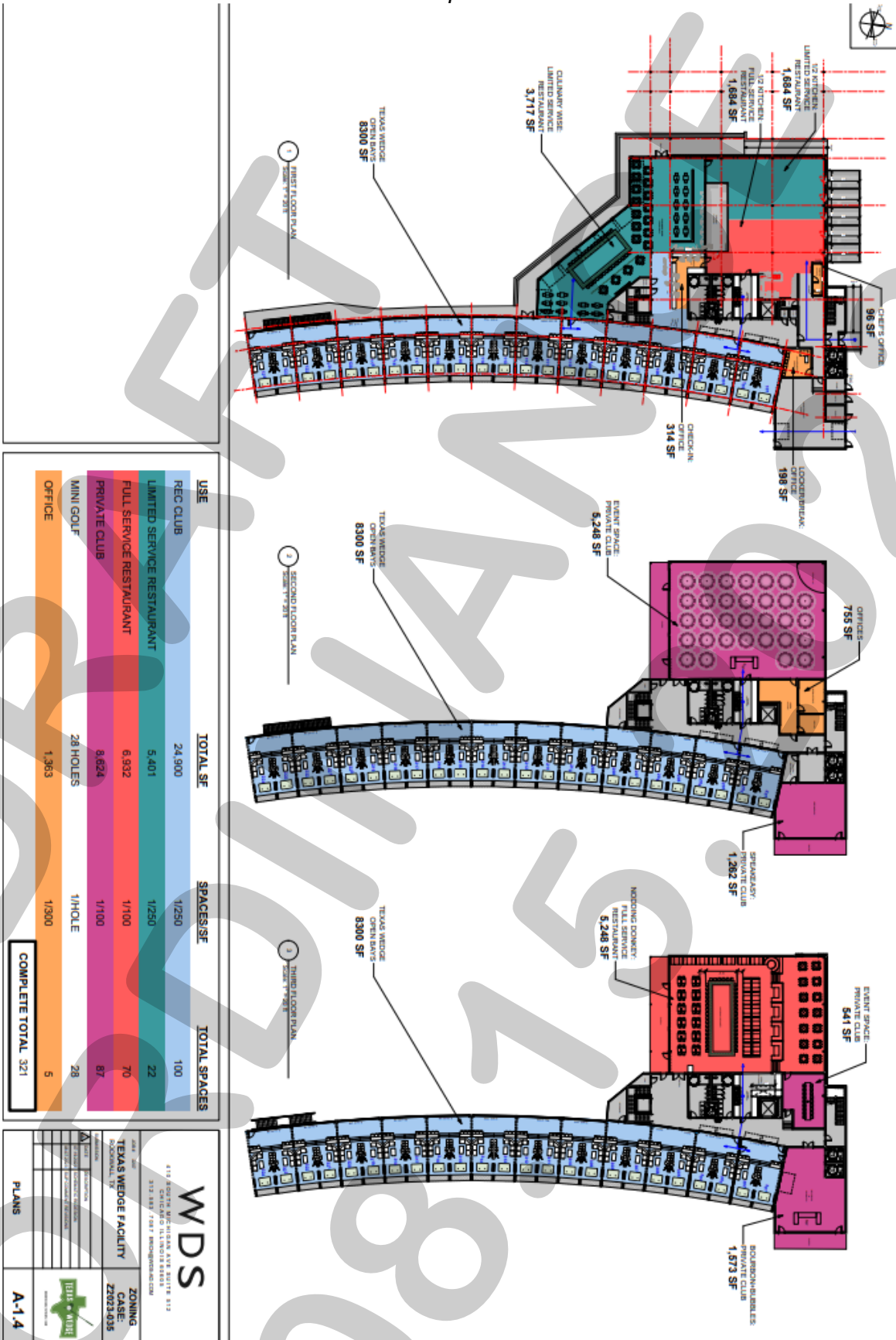
10 ACRES
Culinary Wise
Noddling Donkey
Texas Wedge
Close Land Q2 2023
OPEN Summer 2024

		815 BEAVER WOODLAND AVE SUITE 812 75083-3833, TX 972.383.7581 info@wds.com	
		TEXAS WEDGE FACILITY HOUSTON, TX	ZONING CASE: Z2023-035
SITE PLAN - PROPOSED			
SP-1.1			

2023-03 S P r d
rd 23- S P S

P

Exhibit 'B':
Concept Plan



USE	TOTAL SF	SPACES/SF	TOTAL SPACES
REC CLUB	24,900	1/250	100
LIMITED SERVICE RESTAURANT	5,401	1/250	22
FULL SERVICE RESTAURANT	6,992	1/100	70
PRIVATE CLUB	8,624	1/100	87
MINI GOLF	28 HOLES	1/HOLE	28
OFFICE	1,363	1/300	5
COMPLETE TOTAL			321

WDS
419 SOUTH WILSON AVENUE SUITE 312
CHICAGO, ILLINOIS 60608
312.849.7287 | INFO@WDS.COM

PROJECT: TEXAS WEDGE FACILITY
LOCATION: ROCKWALL, TX
DATE: 02/2023
CASE: Z2023-035
ZONING: A-1.4

PLANS: A-1.4

02023-03 S P r d
rd 02023- S P S

P

Exhibit 'C':
Concept Building Elevations



TEXAS WEDGE
FIT SPORT LIFE BLVD, ROCKWALL, TEXAS 75032
NEW BUILDING FOR GOLF
FOOD AND ENTERTAINMENT
SCHEMATIC PRICING PACKAGE

WDS
wefing design studio



DRAWING LIST

- T-1.0 TITLE SHEET
- SP-10 SITE PLAN - EXISTING
- SP-11 SITE PLAN - PROPOSED
- SP-12 SITE PLAN - PROPOSED ENHANCED
- SP-13 GREEN SPACES
- SP-14 KID SPACES
- SP-15 KID SPACES
- SP-16 GOLF RANGE
- A-1.11 FIRST FLOOR PLAN
- A-1.12 SECOND FLOOR PLAN
- A-1.13 CON PLAN
- A-1.14 PLANS 1-3
- A-2.0 ELEVATIONSECTION - NORTH
- A-2.1 ELEVATIONSECTION - SOUTH
- A-2.2 ELEVATIONSECTION - WEST

WDS
410 SOUTH MICHIGAN AVE SUITE 512
CHICAGO ILLINOIS 60655
312.589.7887 BD@wds-a.com

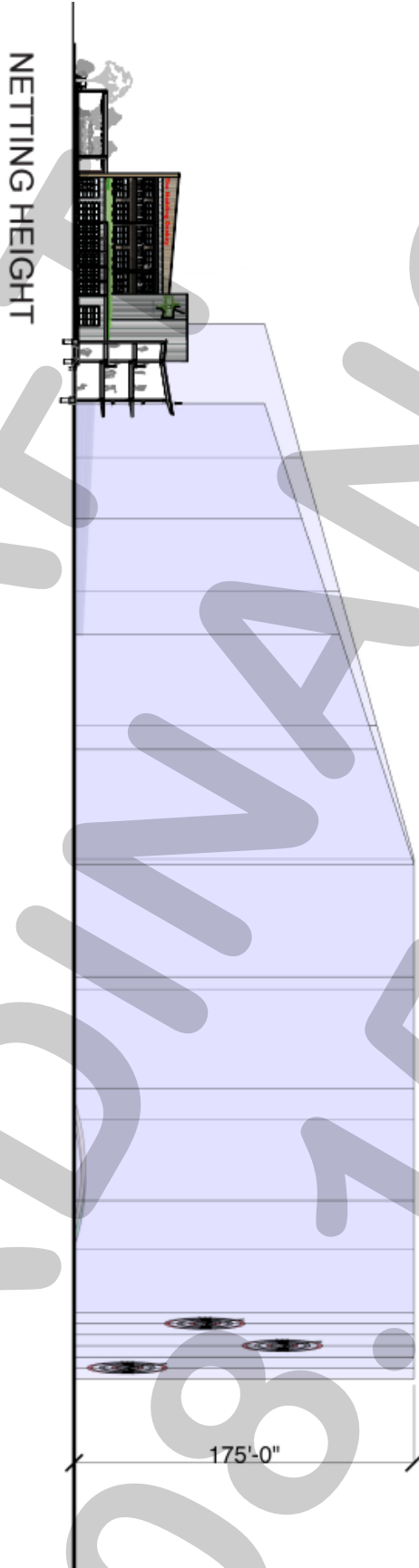
TEXAS WEDGE FACILITY
ROCKWALL, TX

DATE: 08/2023
SUBMISSION: 08/2023
NO. OF SETS: 1
NO. OF SCHEMATIC PACKAGES: 1

TUS & MINE
ARCHITECTURE

T-1.0
TITLE SHEET

**Exhibit 'D':
Golf Netting Height**



DRAFT
ORDINANCE
0815.2023



CITY OF ROCKWALL

PLANNING AND ZONING COMMISSION CASE MEMO

PLANNING AND ZONING DEPARTMENT

385 S. GOLIAD STREET • ROCKWALL, TX 75087

PHONE: (972) 771-7745 • EMAIL: PLANNING@ROCKWALL.COM

TO: Planning and Zoning Commission
DATE: August 15, 2023
APPLICANT: Richard Expo
CASE NUMBER: Z2023-036; *Specific Use Permit (SUP) for a Carport at 820 E. Heath Street*

SUMMARY

Hold a public hearing to discuss and consider a request by Richard Expo on behalf of Ryszard Waszczuk for the approval of a Specific Use Permit (SUP) for a *Carport* that does not meet the minimum requirements on an 0.3492-acre parcel of land identified as Lot 7, Block A, Solar Village Addition, City of Rockwall, Rockwall County, Texas, zoned Single-Family 7 (SF-7) District, addressed as 820 E. Heath Street, and take any action necessary.

BACKGROUND

The subject property was annexed prior to 1934 based on the August 25, 1934 Sanborn Map. According to the City's historic zoning maps, the subject property was zoned Single-Family 3 (SF-3) District as of January 3, 1972. Based on the May 16, 1983 zoning map, this designation changed between January 4, 1972 and May 15, 1983 to Single-Family 7 (SF-7) District and has remained Single-Family 7 (SF-7) District since this change. On November 18, 2013, the City Council approved a preliminary plat [Case No. P2013-032] for the Solar Village Addition, which consists of six (6) single-family residential lots. On July 7, 2014, the City Council approved a final plat [Case No. P2014-014] for Lots 1-6, Block A., Solar Village. On May 11, 2022, a replat [Case No. P2022-022] for Lots 7-12, Block A, Solar Village was administratively approved. The purpose of this replat was to correct the state plane coordinates and update the lot areas. On February 17, 2023, a building permit [RES2023-254] was issued allowing the construction of a 6,442 SF single-family home on the subject property.

PURPOSE

The applicant -- *Richard Expo* -- is requesting the approval of a Specific Use Permit (SUP) to allow for the construction of a *Carport* that exceeds the maximum allowable square footage and does not meet the minimum setback requirements as stipulated by Subsection 07.04, *Accessory Structure Development Standards*, of Article 05, *District Development Standards*, of the Unified Development Code (UDC).

ADJACENT LAND USES AND ACCESS

The subject property is addressed as 820 Heath Street. The land uses adjacent to the subject property are as follows:

North: Directly north of the subject property is Heath Street, which is identified as a R2 (*i.e. residential, two [2] lane, undivided roadway*) on the City's Master Thoroughfare Plan contained in the OURHometown Vision 2040 Comprehensive Plan. Beyond this is one (1) single-family home (*i.e. 819 E Heath Street*), which is situated within the Hal Phelps Subdivision. This subdivision is zoned Single-Family 7 (SF-7) District and consists of 11 residential lots. Beyond this is Phase 5 of the Caruth Lakes Subdivision, which is zoned Planned Development District 5 (PD-5) and consists of 137 residential lots.

South: Directly south of the subject property is the rest of the Solar Village Subdivision, which is zoned Single-Family 7 (SF-7) District and consists of six (6) residential lots. Beyond this is Williams Street, which is identified as a *Minor Collector* on the City's Master Thoroughfare Plan contained in the OURHometown Vision 2040 Comprehensive Plan. South of this is a 5.82-acre tract of land (*i.e. Tract 50, of the R Ballard Survey, Abstract No. 29*) with a single-family home situated on it. This property is zoned Single-Family 7 (SF-7) District.

East: Directly east of the subject property is the rest of the Solar Village Subdivision, which is zoned Single-Family 7 (SF-7) District and consists of six (6) residential lots. Beyond this is Williams Street which is identified as a *Minor Collector* on the City's Master Thoroughfare Plan contained in the OURHometown Vision 2040 Comprehensive Plan. Beyond that is a 3.120-acre tract of land (*i.e. Tract 66, of the R Ballard, Abstract 29*), addressed as 940 Williams Street, and zoned Light Industrial (LI) District. The property is developed with a 2,096 SF single-family home.

West: Directly west of the subject property is the Green Meadows Subdivision, which is zoned Single-Family 7 (SF-7) District and consists of nine (9) residential lots. Beyond this is the Fondren Subdivision, which is zoned Single-Family 7 (SF-7) District and consists of 16 residential lots.

CHARACTERISTICS OF THE REQUEST

The applicant has submitted a development application, concept plan, and building elevations proposing to construct a 24-foot by 26-foot (*or 624 SF*) carport on the subject property. The proposed carport will architecturally be integrated with the existing attached garage and home, and will stand less than 14-feet in height as measured to the mid-point of the pitched roof. The proposed structure will be situated in the side yard and be a minimum of 20-feet from the side yard property line (*i.e. the eastern property line*) and a minimum of 20-feet from the front yard (*i.e. the northern*) property line even with the front façade of the single-family home.

CONFORMANCE WITH THE CITY'S CODES

According to Subsection 07.04, *Accessory Structure Development Standards*, of Article 05, *District Development Standards*, of the Unified Development Code (UDC), the Single-Family 7 (SF-7) District allows a total of one (1) carport. The maximum square footage of a carport is 500 SF. Carports are limited to a maximum height of 15-feet. The setbacks for a carport in a Single-Family 7 (SF-7) District are ten (10) feet from the rear property line and 20-feet from the alleyway. This section of the code goes on to state, "(i)n residential districts, carports must be open on at least two (2) sides, architecturally integrated into the primary structure, and be located 20-feet behind the corner of the front façade and meet the garage setback adjacent to an alley." Carports not conforming to these requirements shall require a Specific Use Permit (SUP).

STAFF ANALYSIS

In this case, the applicant's request generally conforms to the height requirements for a carport; however, the carport does not adhere to the maximum allowable size or the requirement to be located 20-feet behind the front façade in a Single-Family 7 (SF-7) District. Specifically, the carport will exceed the permitted 124 SF and the proposed carport is placed even with the front of the front façade of the home. For the purpose of comparing the proposed *Carport* with other carports in the area, staff reviewed aerial and street view images to locate similar structures. Through this analysis, staff was unable to identify any other *Carports* constructed within three (3) blocks of the subject property. Based on the proposed size and location of the accessory building, staff should point out that this structure will have high visibility from the adjacent properties along E Heath Street. With this being said, the approval of a Specific Use Permit (SUP) request is a discretionary decision for the City Council pending a recommendation from the Planning and Zoning Commission.

NOTIFICATIONS

On July 21, 2023, staff mailed 87 notices to property owners and occupants within 500-feet of the subject property. Staff also notified the Caruth Lakes Homeowner's Associations (HOAs) which was the only Homeowner's Association (HOA) within the 1,500-foot buffer participating in the Neighborhood Notification Program. Additionally, staff posted a sign on the subject property, and advertised the public hearings in the Rockwall Herald Banner as required by the Unified Development Code (UDC). At the time this report was drafted, staff had not received any notices back in regards to the request.

CONDITIONS OF APPROVAL

If the Planning and Zoning Commission chooses to recommend approval of the applicant's request for a Specific Use Permit (SUP) for a Carport, then staff would propose the following conditions of approval:

- (1) The applicant shall be responsible for maintaining compliance with the operational conditions contained in the Specific Use Permit (SUP) ordinance and which are detailed as follows:
 - (a) The carport shall maintain conformance to the approved site plan and building elevations depicted in *Exhibits 'A' & 'B'* of the Specific Use Permit (SUP) ordinance.
 - (b) The carport shall not exceed a maximum size of 625 SF.
 - (c) The carport shall not exceed a maximum overall height of 17-feet.
 - (d) The carport is subject to administrative review in the event that the *Subject Property* is sold, conveyed or altered in any manner.
- (2) Any construction resulting from the approval of this Specific Use Permit (SUP) shall conform to the requirements set forth by the Unified Development Code (UDC), the International Building Code (IBC), the Rockwall Municipal Code of Ordinances, city adopted engineering and fire codes and with all other applicable regulatory requirements administered and/or enforced by the state and federal government.



DEVELOPMENT APPLICATION

City of Rockwall
Planning and Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087

STAFF USE ONLY

PLANNING & ZONING CASE NO. _____

NOTE: THE APPLICATION IS NOT CONSIDERED ACCEPTED BY THE CITY UNTIL THE PLANNING DIRECTOR AND CITY ENGINEER HAVE SIGNED BELOW.

DIRECTOR OF PLANNING: _____

CITY ENGINEER: _____

PLEASE CHECK THE APPROPRIATE BOX BELOW TO INDICATE THE TYPE OF DEVELOPMENT REQUEST (SELECT ONLY ONE BOX):

PLATTING APPLICATION FEES:

- MASTER PLAT (\$100.00 + \$15.00 ACRE)¹
- PRELIMINARY PLAT (\$200.00 + \$15.00 ACRE)¹
- FINAL PLAT (\$300.00 + \$20.00 ACRE)¹
- REPLAT (\$300.00 + \$20.00 ACRE)¹
- AMENDING OR MINOR PLAT (\$150.00)
- PLAT REINSTATEMENT REQUEST (\$100.00)

SITE PLAN APPLICATION FEES:

- SITE PLAN (\$250.00 + \$20.00 ACRE)¹
- AMENDED SITE PLAN/ELEVATIONS/LANDSCAPING PLAN (\$100.00)

ZONING APPLICATION FEES:

- ZONING CHANGE (\$200.00 + \$15.00 ACRE)¹
- SPECIFIC USE PERMIT (\$200.00 + \$15.00 ACRE)^{1 & 2}
- PD DEVELOPMENT PLANS (\$200.00 + \$15.00 ACRE)¹

OTHER APPLICATION FEES:

- TREE REMOVAL (\$75.00)
- VARIANCE REQUEST/SPECIAL EXCEPTIONS (\$100.00)²

NOTES:

¹: IN DETERMINING THE FEE, PLEASE USE THE EXACT ACREAGE WHEN MULTIPLYING BY THE PER ACRE AMOUNT. FOR REQUESTS ON LESS THAN ONE ACRE, ROUND UP TO ONE (1) ACRE.
²: A \$1,000.00 FEE WILL BE ADDED TO THE APPLICATION FEE FOR ANY REQUEST THAT INVOLVES CONSTRUCTION WITHOUT OR NOT IN COMPLIANCE TO AN APPROVED BUILDING PERMIT.

PROPERTY INFORMATION [PLEASE PRINT]

ADDRESS

820 E Heath St.

SUBDIVISION

Solar Village

LOT

1

BLOCK

A

GENERAL LOCATION

ZONING, SITE PLAN AND PLATTING INFORMATION [PLEASE PRINT]

CURRENT ZONING

CURRENT USE

PROPOSED ZONING

PROPOSED USE

ACREAGE

LOTS [CURRENT]

LOTS [PROPOSED]

- SITE PLANS AND PLATS:** BY CHECKING THIS BOX YOU ACKNOWLEDGE THAT DUE TO THE PASSAGE OF HB3167 THE CITY NO LONGER HAS FLEXIBILITY WITH REGARD TO ITS APPROVAL PROCESS, AND FAILURE TO ADDRESS ANY OF STAFF'S COMMENTS BY THE DATE PROVIDED ON THE DEVELOPMENT CALENDAR WILL RESULT IN THE DENIAL OF YOUR CASE.

OWNER/APPLICANT/AGENT INFORMATION [PLEASE PRINT/CHECK THE PRIMARY CONTACT/ORIGINAL SIGNATURES ARE REQUIRED]

OWNER

Richard Expo

APPLICANT

CONTACT PERSON

RYSZARD WASZCZUK

CONTACT PERSON

ADDRESS

838 Nash St.

ADDRESS

CITY, STATE & ZIP

Rockwall, TX. 75087

CITY, STATE & ZIP

PHONE

972-400-8047

PHONE

E-MAIL

Richardexpo@hotmail.com

E-MAIL

NOTARY VERIFICATION [REQUIRED]

BEFORE ME, THE UNDERSIGNED AUTHORITY, ON THIS DAY PERSONALLY APPEARED RYSZARD WASZCZUK (OWNER) THE UNDERSIGNED, WHO STATED THE INFORMATION ON THIS APPLICATION TO BE TRUE AND CERTIFIED THE FOLLOWING:

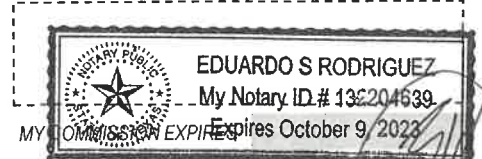
"I HEREBY CERTIFY THAT I AM THE OWNER FOR THE PURPOSE OF THIS APPLICATION; ALL INFORMATION SUBMITTED HEREIN IS TRUE AND CORRECT; AND THE APPLICATION FEE OF \$ 215.00 TO COVER THE COST OF THIS APPLICATION, HAS BEEN PAID TO THE CITY OF ROCKWALL ON THIS THE 14th DAY OF July, 2023 BY SIGNING THIS APPLICATION, I AGREE THAT THE CITY OF ROCKWALL (I.E. "CITY") IS AUTHORIZED AND PERMITTED TO PROVIDE INFORMATION CONTAINED WITHIN THIS APPLICATION TO THE PUBLIC. THE CITY IS ALSO AUTHORIZED AND PERMITTED TO REPRODUCE ANY COPYRIGHTED INFORMATION SUBMITTED IN CONJUNCTION WITH THIS APPLICATION, IF SUCH REPRODUCTION IS ASSOCIATED OR IN RESPONSE TO A REQUEST FOR PUBLIC INFORMATION."

GIVEN UNDER MY HAND AND SEAL OF OFFICE ON THIS THE 14th DAY OF July, 2023

OWNER'S SIGNATURE

[Signature]

NOTARY PUBLIC IN AND FOR THE STATE OF TEXAS





Z2023-036: Specific Use Permit for a Carport at 820 E. Heath Street



Case Location Map =



City of Rockwall

Planning & Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087
(P): (972) 771-7745
(W): www.rockwall.com

The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.

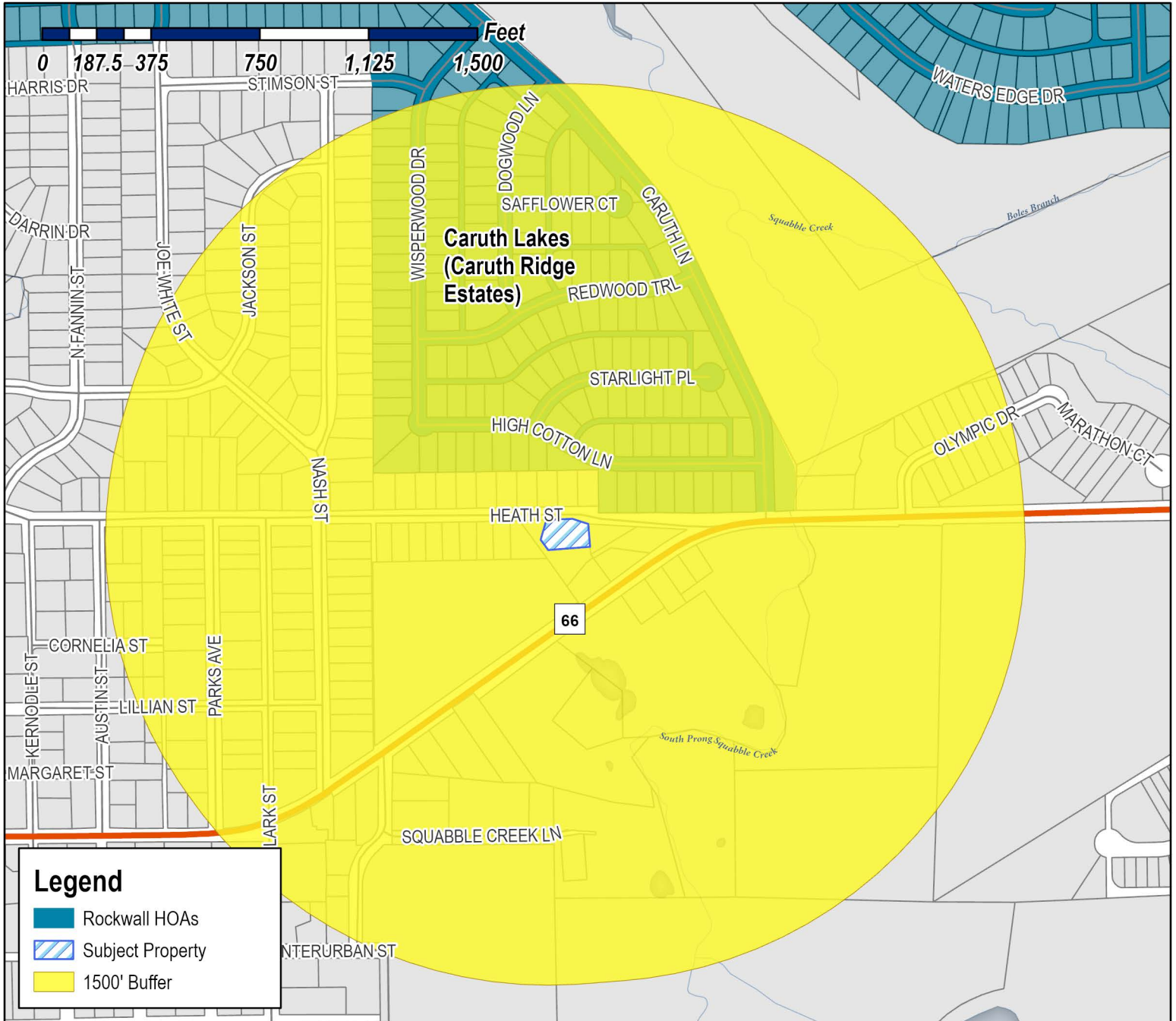




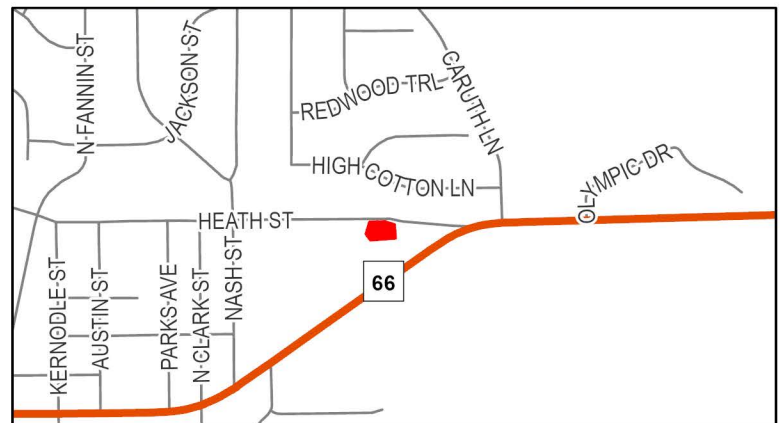
City of Rockwall

Planning & Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087
(P): (972) 771-7745
(W): www.rockwall.com

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Case Number: Z2023-036
Case Name: SUP for a Carport
Case Type: Zoning
Zoning: Single-Family 7 (SF-7) District
Case Address: 820 E. Heath Street



Date Saved: 7/14/2023

For Questions on this Case Call (972) 771-7745

Ross, Bethany

From: Zavala, Melanie
Sent: Wednesday, July 19, 2023 9:06 AM
Cc: Miller, Ryan; Ross, Bethany; Guevara, Angelica; Lee, Henry
Subject: Neighborhood Notification Program [Z2023-036]
Attachments: Public Notice (P&Z) (7.17.2023).pdf; HOA Map (07.14.2023).pdf

HOA/Neighborhood Association Representative:

Per your participation in the *Neighborhood Notification Program*, you are receiving this notice to inform your organization that a zoning case has been filed with the City of Rockwall that is located within 1,500-feet of the boundaries of your neighborhood. As the contact listed for your organization, you are encouraged to share this information with the residents of your subdivision. Please find the attached map detailing the property requesting to be rezoned in relation to your subdivision boundaries. Additionally, below is the summary of the zoning case that will be published in the Rockwall Herald Banner on *July 21, 2023*. The Planning and Zoning Commission will hold a public hearing on *Tuesday, August 15, 2023 at 6:00 PM*, and the City Council will hold a public hearing on *Monday, August 21, 2023 at 6:00 PM*. Both hearings will take place at 6:00 PM at City Hall, 385 S. Goliad, Rockwall, TX 75087.

All interested parties are encouraged to submit public comments via email to Planning@rockwall.com at least 30 minutes in advance of the meeting. Please include your name, address, and the case number your comments are referring to. These comments will be read into the record during each of the public hearings. Additional information on all current development cases can be found on the City's website: <https://sites.google.com/site/rockwallplanning/development/development-cases>.

Z2023-036: SUP for a Carport

Hold a public hearing to discuss and consider a request by Richard Expo on behalf of Ryszard Waszczuk for the approval of a *Specific Use Permit (SUP)* for a *Carport* that does not meet the minimum requirements on an 0.3492-acre parcel of land identified as Lot 7, Block A, Solar Village Addition, City of Rockwall, Rockwall County, Texas, zoned Single-Family 7 (SF-7) District, addressed as 820 E. Heath Street, and take any action necessary.

Thank you,

Melanie Zavala

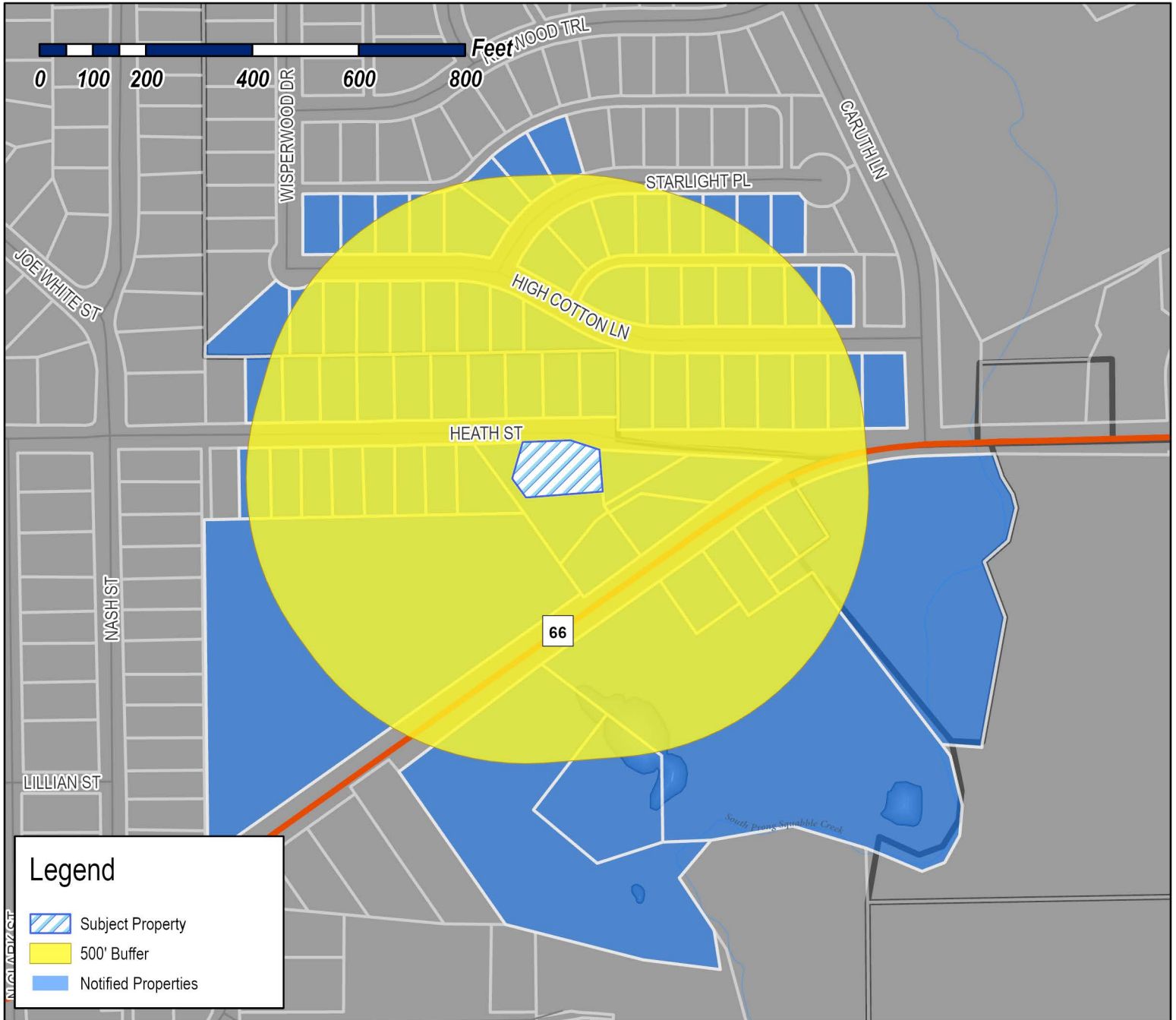
Planning & Zoning Coordinator | Planning Dept. | City of Rockwall
385 S. Goliad Street | Rockwall, TX 75087
<http://www.rockwall.com/>
972-771-7745 Ext. 6568



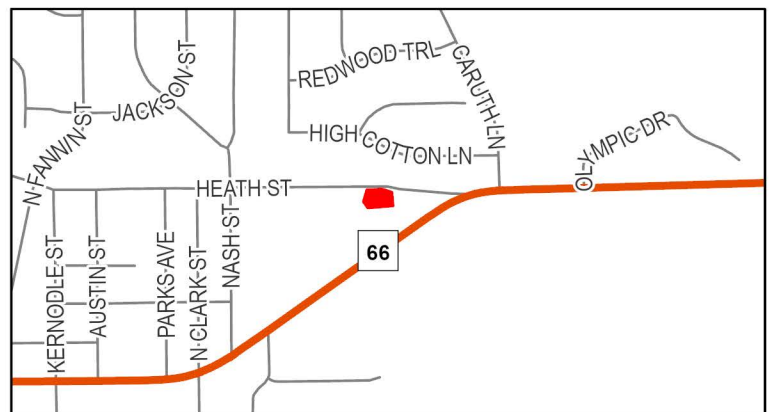
City of Rockwall

Planning & Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087
(P): (972) 771-7745
(W): www.rockwall.com

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Case Number: Z2023-036
Case Name: SUP for a Carport
Case Type: Zoning
Zoning: Single-Family 7 (SF-7) District
Case Address: 820 E. Heath Street



Date Saved: 7/14/2023

For Questions on this Case Call: (972) 771-7746

KINDELL GROUP LLC
1 TABER LANE
ROCKWALL, TX 75087

RESIDENT
1001 STARLIGHT PL
ROCKWALL, TX 75087

RESIDENT
1002 HIGH COTTON LN
ROCKWALL, TX 75087

ADAMS JOHNNY R JR & JEANNE K
1005 HIGH COTTON LN
ROCKWALL, TX 75087

RESIDENT
1007 STARLIGHT PL
ROCKWALL, TX 75087

SPENCE JODY L
1010 HIGH COTTON LN
ROCKWALL, TX 75087

KINSELLA ERIC P & CARLA J
1011 HIGH COTTON LN
ROCKWALL, TX 75087

RUST WILLIAM KA ND TERRI DAWN
1013 STARLIGHT PL
ROCKWALL, TX 75087

JENNINGS RICHARD
1016 HIGH COTTON LN
ROCKWALL, TX 75087

LAMBERT MILDRED L & NORMAN R
1017 HIGH COTTON LN
ROCKWALL, TX 75087

WIENBARG KIMBERLY
1019 STARLIGHT
ROCKWALL, TX 75087

HEIN KYLE G & VERONICA L
1022 HIGH COTTON LN
ROCKWALL, TX 75087

WOODS WILLIAM & RITA
1023 HIGH COTTON LN
ROCKWALL, TX 75087

JARESH DONALD & COLETTE
1025 STARLIGHT PL
ROCKWALL, TX 75087

PRESLEY DELISA & RANDALL
1028 HIGH COTTON LANE
ROCKWALL, TX 75087

SINGH GURDARSHAN AND PARAMJIT SINGH
1029 HIGH COTTON LN
ROCKWALL, TX 75087

BAKER CHRISTOPHER MILLER AND MONICA
NAHIR
1031 STARLIGHT PL
ROCKWALL, TX 75087

BASHAM TOMMY & JAMIE
1034 HIGH COTTON LN
ROCKWALL, TX 75087

KEGLEY SCOTT
1035 HIGH COTTON LN
ROCKWALL, TX 75087

JOHNSON ROBERT AND
VIRGINIA LEE
1040 HIGH COTTON LN
ROCKWALL, TX 75087

GAJEWSKI MISTY
1041 HIGH COTTON LANE
ROCKWALL, TX 75087

BACK STACY ANN & CHARLES BACK JR
1049 HIGH COTTON LANE
ROCKWALL, TX 75087

HOPEWELL MARILYN E
1056 WISPERWOOD DR
ROCKWALL, TX 75087

SWH 2017-1 BORROWER LP
1131 W WARNER RD STE 102
TEMPE, AZ 85284

HPA TEXAS SUB 2017-1 LLC
120 S RIVERSIDE PLZ STE 2000
CHICAGO, IL 60606

HPA BORROWER 2018-1 MS LLC
120 S RIVERSIDE PLZ STE 2000
CHICAGO, IL 60606

ROCKWALL ENTERPRISES LLC
1309 MORAINNE PL
HEATH, TX 75032

DORAZIO RICHARD & SHARON LIVING TRUST
RICHARD A & SHARON L DORAZIO TRUSTEES
143 SHEPHERDS GLEN RD
HEATH, TX 75032

SHUGART MELODY S
1511 FT DUQUESNA DR
SUN CITY CENTER, FL 33573

2019-1 IH BORROWER LP
1717 MAIN SST SUITE 2000
DALLAS, TX 75201

THE BRANCH OFFICE PROPERTIES LLC
25 NOBLE CT
HEATH, TX 75032

HOLLAND PAUL
2534 CR 3419
HAWKINS, TX 75765

R FIFTY GREEN HOMES
2704 FOXCHASE LN
ROCKWALL, TX 75032

CAS INVESTMENT PROPERTIES LLC- SERIES 809
HEATH
521 WILLOW SPRINGS DR.
HEATH, TX 75032

TAYLOR WANDA
803 E HEATH ST
ROCKWALL, TX 75087

BROWN REBECCA AND THOMAS
804 E HEATH ST
ROCKWALL, TX 75087

KRUEGER CHARLES H & JENNY L
805 E HEATH ST
ROCKWALL, TX 75087

CONLEY JANONA & THOMAS J
806 E. HEATH ST
ROCKWALL, TX 75087

MOHEDANO MARTIN
807 E HEATH ST
ROCKWALL, TX 75087

RESIDENT
808 E HEATH ST
ROCKWALL, TX 75087

RESIDENT
809 E HEATH ST
ROCKWALL, TX 75087

RESIDENT
810 E HEATH ST
ROCKWALL, TX 75087

WARDELL LUKE A
811 E HEATH ST
ROCKWALL, TX 75087

KINSEY HILLARY
812 EAST HEATH STREET
ROCKWALL, TX 75087

GULLEY STAN LAVERE ETUX
813 E HEATH ST
ROCKWALL, TX 75087

RESIDENT
814 E HEATH ST
ROCKWALL, TX 75087

HODGES BRIAN CODY & CHRISTY MICHELLE
815 E HEATH ST
ROCKWALL, TX 75087

NICHOLS CORY
816 E HEATH ST
ROCKWALL, TX 75087

RODRIGUEZ PAULA CANDACE
817 E HEATH STREET
ROCKWALL, TX 75087

RESIDENT
818 E HEATH ST
ROCKWALL, TX 75087

MOORE MIRIAM
819 E HEATH ST
ROCKWALL, TX 75087

RESIDENT
820 HEATH ST
ROCKWALL, TX 75087

RESIDENT
821 E HEATH ST
ROCKWALL, TX 75087

RESIDENT
824 HEATH ST
ROCKWALL, TX 75087

RESIDENT
828 HEATH ST
ROCKWALL, TX 75087

RESIDENT
832 WILLIAMS ST
ROCKWALL, TX 75087

RANDALL ROBERT S & SHERY B
835 HIGH COTTON LN
ROCKWALL, TX 75087

RESIDENT
836 HEATH ST
ROCKWALL, TX 75087

RESIDENT
840 HEATH ST
ROCKWALL, TX 75087

DOTSON DUNCAN L & DOLORES J
841 HIGH COTTON LN
ROCKWALL, TX 75087

MINCE RANDY JOE & RHONDA LYNN
844 HIGH COTTON LN
ROCKWALL, TX 75087

WEAVER BONNIE & SCOTT
847 HIGH COTTON LN
ROCKWALL, TX 75087

CHUNG WON S & HYE Y
850 HIGH COTTON LN
ROCKWALL, TX 75087

MEYER LANEY AND RANDAL
853 HIGH COTTON LANE
ROCKWALL, TX 75087

LAIN JACOB & SARAH
856 HIGH COTTON LANE
ROCKWALL, TX 75087

CLEMENT MICHAEL BRENT
859 HIGH COTTON LANE
ROCKWALL, TX 75087

COTTI MICHAEL A
862 HIGH COTTON LANE
ROCKWALL, TX 75087

RESIDENT
865 HIGH COTTON LN
ROCKWALL, TX 75087

MCKNIGHT SCOTT A & KAY A
871 HIGH COTTON LN
ROCKWALL, TX 75087

MCKINNEY ROBERT A & JENNIFER J
877 HIGH COTTON LN
ROCKWALL, TX 75087

RESIDENT
901 WILLIAMS ST
ROCKWALL, TX 75087

TATE NATHAN A AND LAURA S AND
DARLENE SINGLETON
928 WILLIAMS ST
ROCKWALL, TX 75087

SINGLETON ROY LEE SR & LINDA D
930 WILLIAMS ST
ROCKWALL, TX 75087

CANTRELL JANET SUE
932 WILLIAMS ST
ROCKWALL, TX 75087

SAKOLEVIDIS DESTINY AND JOHN COOK JR
934 WILLIAMS ST
ROCKWALL, TX 75087

RESIDENT
936 WILLIAMS ST
ROCKWALL, TX 75087

SANCHEZ RAQUEL
938 WILLIAMS STREET
ROCKWALL, TX 75087

SPILLMAN JAMES T
940 WILLIAMS ST
ROCKWALL, TX 75087

HILL HEATH D & JENNIFER S
974 STARLIGHT PL
ROCKWALL, TX 75087

SHARP MARCUS & STELLA
980 STARLIGHT PL
ROCKWALL, TX 75087

RESIDENT
983 STARLIGHT PL
ROCKWALL, TX 75087

KEIFER R MATTHEW & KRISTEN C
986 STARLIGHT PL
ROCKWALL, TX 75087

RESIDENT
991 STARLIGHT PL
ROCKWALL, TX 75087

POMROY SHAWN AND PATRICIA
992 STARLIGHT PL
ROCKWALL, TX 75087

GRANBERRY EDITH
M/R
, TX 75087

CARUTH RIDGE EST HOMEOWNERS ASSOC INC
C/O GOODWIN MANAGEMENT, INC.
PO BOX 203310
AUSTIN, TX 78720

ROCKWALL ASSEMBLY OF GOD
C/O DAVID SPIEGEL
PO BOX 33
ROCKWALL, TX 75087

PUBLIC NOTICE



CITY OF ROCKWALL
PLANNING AND ZONING DEPARTMENT
PHONE: (972) 771-7745
EMAIL: PLANNING@ROCKWALL.COM

Property Owner and/or Resident of the City of Rockwall:

You are hereby notified that the City of Rockwall Planning and Zoning Commission and City Council will consider the following application:

Z2023-036: SUP for a Carport

Hold a public hearing to discuss and consider a request by Richard Expo on behalf of Ryszard Waszczuk for the approval of a Specific Use Permit (SUP) for a Carport that does not meet the minimum requirements on an 0.3492-acre parcel of land identified as Lot 7, Block A, Solar Village Addition, City of Rockwall, Rockwall County, Texas, zoned Single-Family 7 (SF-7) District, addressed as 820 E. Heath Street, and take any action necessary.

For the purpose of considering the effects of such a request, the Planning and Zoning Commission will hold a public hearing on Tuesday, August 15, 2023 at 6:00 PM, and the City Council will hold a public hearing on Monday, August 21, 2023 at 6:00 PM. These hearings will be held in the City Council Chambers at City Hall, 385 S. Goliad Street.

As an interested property owner, you are invited to attend these meetings. If you prefer to express your thoughts in writing please return the form to:

Bethany Ross
Rockwall Planning and Zoning Dept.
385 S. Goliad Street
Rockwall, TX 75087

You may also email your comments to the Planning Department at planning@rockwall.com. If you choose to email the Planning Department please include your name and address for identification purposes.

Your comments must be received by Monday, August 21, 2023 at 4:00 PM to ensure they are included in the information provided to the City Council.

Sincerely,

Ryan Miller, AICP
Director of Planning & Zoning



MORE INFORMATION ON THIS CASE CAN BE FOUND AT: <https://sites.google.com/site/rockwallplanning/development/development-cases>

PLEASE RETURN THE BELOW FORM

Case No. Z2023-036: SUP for a Carport

Please place a check mark on the appropriate line below:

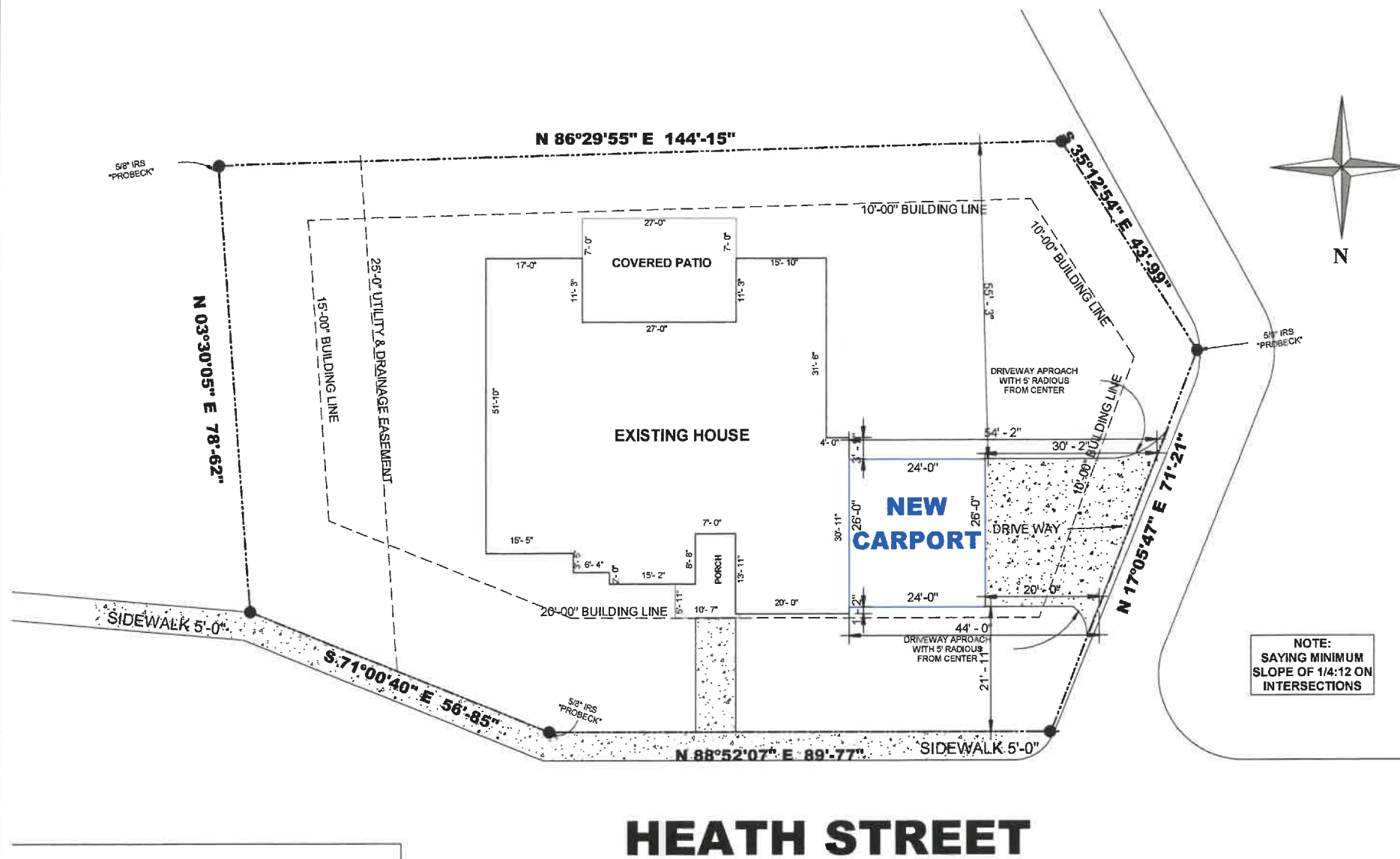
- I am in favor of the request for the reasons listed below.
- I am opposed to the request for the reasons listed below.

Name:

Address:

Tex. Loc. Gov. Code, Sec. 211.006 (d) If a proposed change to a regulation or boundary is protested in accordance with this subsection, the proposed change must receive, in order to take effect, the affirmative vote of at least three-fourths of all members of the governing body. The protest must be written and signed by the owners of at least 20 percent of either: (1) the area of the lots or land covered by the proposed change; or (2) the area of the lots or land immediately adjoining the area covered by the proposed change and extending 200 feet from that area.

PLEASE SEE LOCATION MAP OF SUBJECT PROPERTY ON THE BACK OF THIS NOTICE



VICINITY MAP

820 E HEATH ST
ROCKWALL, TX 75087

EXISTING HOUSE	3,681.5 SG/FT
NEW CARPORT	624 SG/FT
TOTAL NEW CONSTRUCTION	624 SG/FT
LOT AREA	0.3492 ACRES

NOTE:
SAYING MINIMUM
SLOPE OF 1/4:12 ON
INTERSECTIONS

1 Site Plan
1/16" = 1'-0"

HEATH STREET



THESE PLANS ARE INTENDED TO PROVIDE BASIC CONSTRUCTION INFORMATION NECESSARY TO SUBSTANTIALLY BUILD THE STRUCTURE. THESE PLANS MUST BE REVISIONS AND CHECKED BY THE BUILDER, HOMEOWNER, AND ALL CONTRACTORS OF THE JOB PRIOR TO CONSTRUCTION. BUILDER SHOULD OBTAIN COMPLETE ENGINEERING SERVICES, PERMITS, AND STRUCTURAL BEFORE BEGINNING CONSTRUCTION OF ANY WORK. NOTE: ALL FEDERAL, STATE, AND LOCAL CODES AND RESTRICTIONS TAKE PRECEDENCE OVER ANY PART OF THESE PLANS.

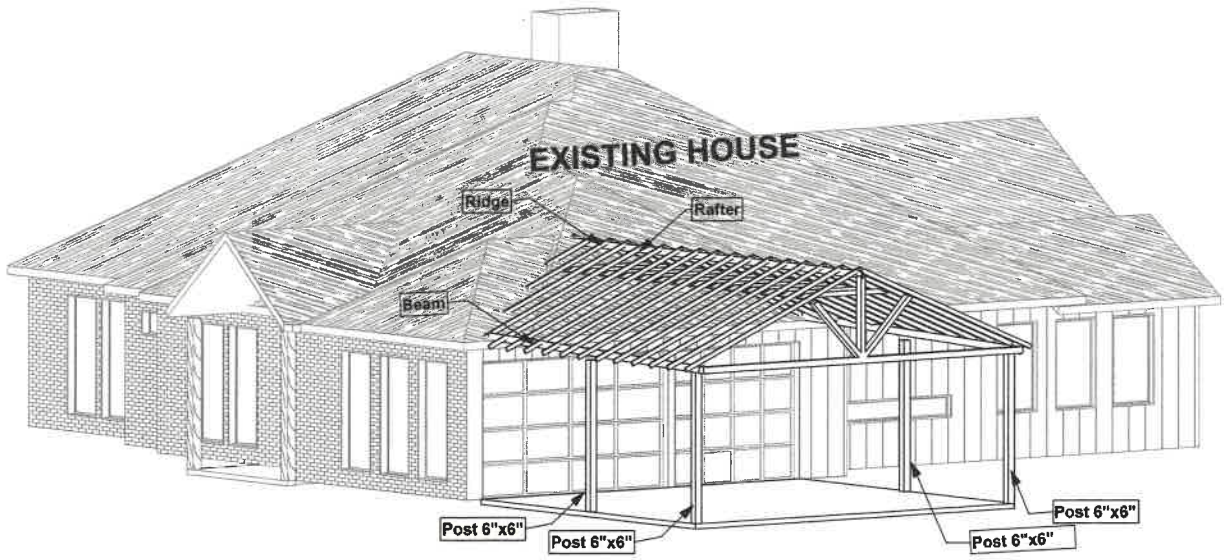
GREAT CARE AND EFFORT HAVE GONE INTO THE CREATION OF THESE BLUEPRINTS. HOWEVER, BECAUSE OF THE VARIANCE IN GEOGRAPHIC LOCATIONS, WE WILL NOT ASSUME LIABILITY FOR ANY DAMAGES DUE TO ERRORS, OMISSIONS, OR REVISIONS ON THESE PLANS. OWNER/BUILDER MUST COMPLY WITH LOCAL BUILDING CODES PRIOR TO COMMENCEMENT OF CONSTRUCTION. THE PURCHASE OF THESE PLANS ENTITLES THE BUYER TO CONSTRUCT THIS HOUSE ONLY ONCE. ANY COPIES, TRACES, OR ALTERATIONS OF THESE PLANS IS NOT PERMITTED. VIOLATORS WILL BE SUBJECT TO PROSECUTION UNDER COPYRIGHT LAWS.

Project Name & Address
820 E HEATH ST
ROCKWALL, TX 75087

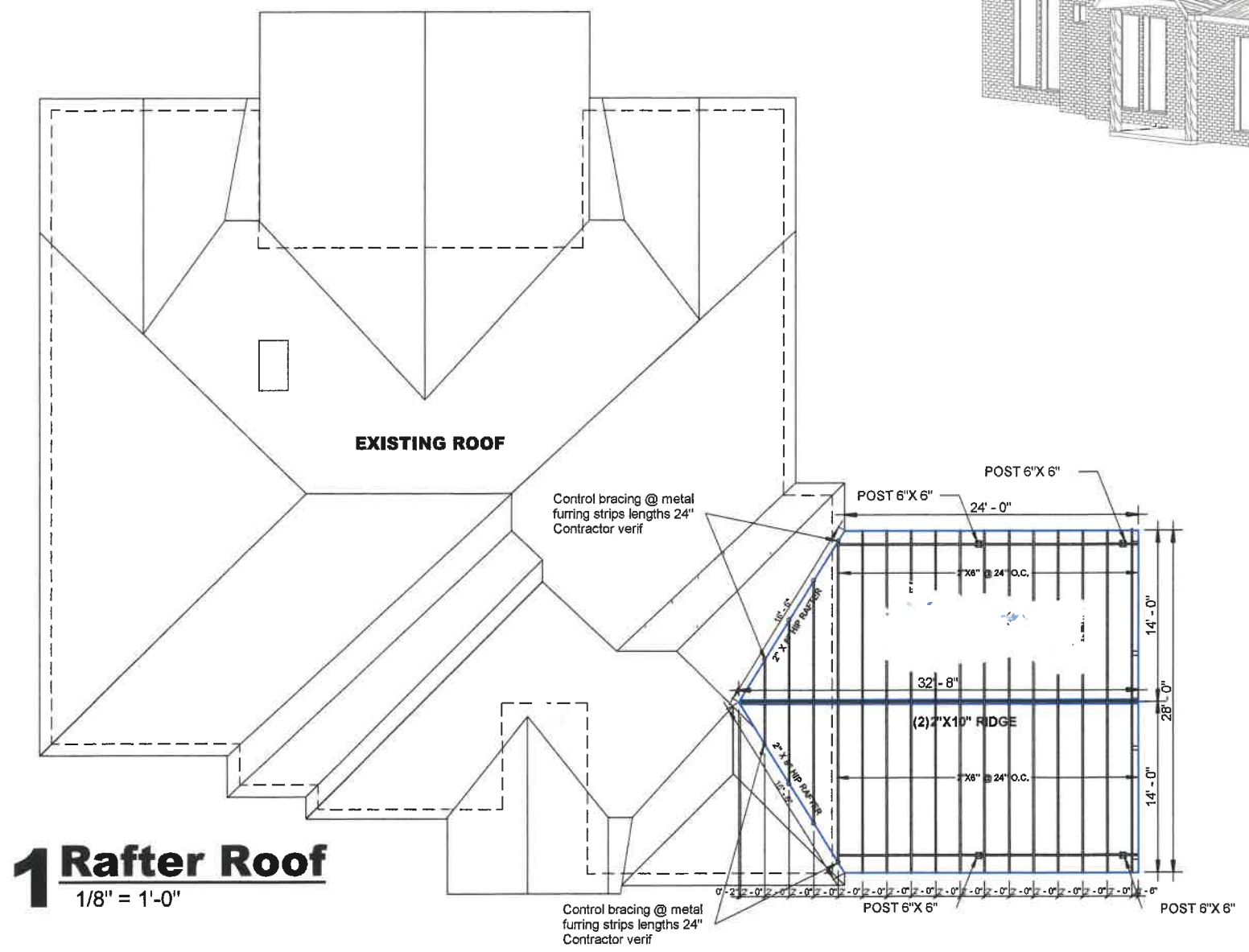
Legal Description
LOT 7

SITE PLAN	
Project number:	
Date:	6/23/2023
Scale:	1/16" = 1'-0"
Drawn by: Projects & Construction Araque	

1



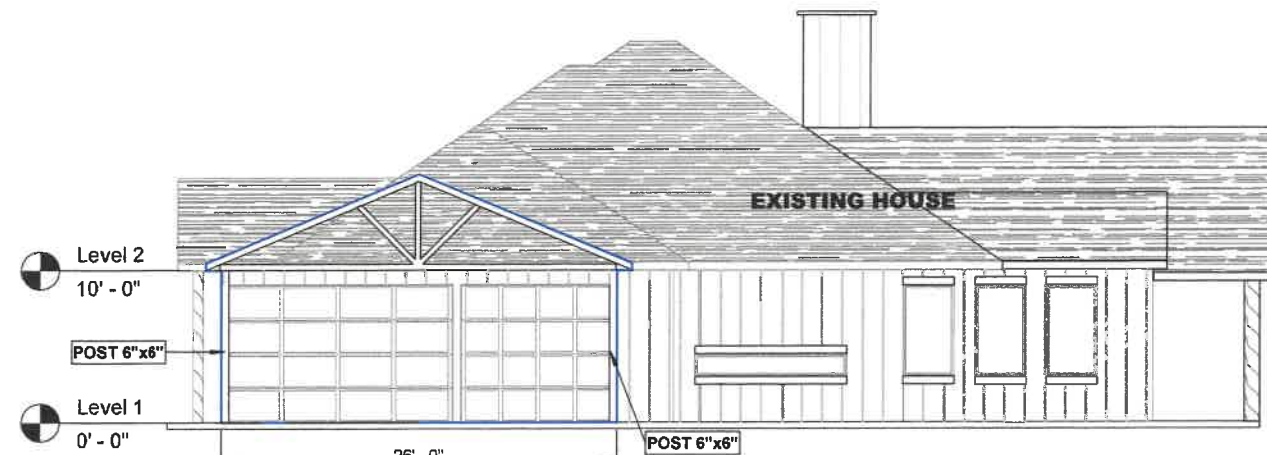
2 Framing Carport



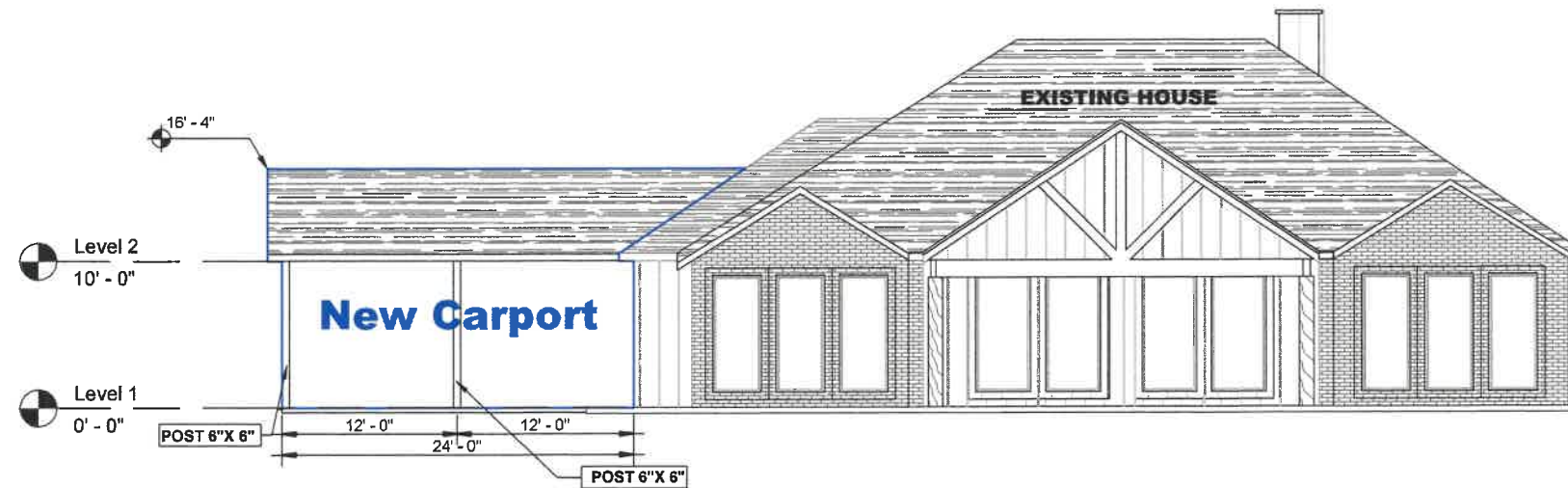
1 Rafter Roof

1/8" = 1'-0"

	<small>THESE PLANS ARE INTENDED TO PROVIDE BASIC CONSTRUCTION INFORMATION NECESSARY TO SUBSTANTIALLY BUILD THE STRUCTURE. THESE PLANS MUST BE REVIEWED AND CHECKED BY THE DESIGN PROFESSIONAL AND ALL CONTRACTORS OF THE JOB PRIOR TO CONSTRUCTION. BUILDER SHOULD OBTAIN COMPLETE ENGINEERING SERVICES, PERMITS AND STRUCTURAL BEFORE BEGINNING CONSTRUCTION OF ANY JOB. NOTE: ALL FEDERAL, STATE, AND LOCAL CODES AND RESTRICTIONS TAKE PRECEDENCE OVER ANY PART OF THESE PLANS.</small> <small>GREAT CARE AND EFFORT HAVE GONE INTO THE CREATION OF THESE BLUEPRINTS. HOWEVER, BECAUSE OF THE VARIANCES IN SURROUNDING LOCATIONS, WE WILL NOT ASSUME LIABILITY FOR ANY CHANGES DUE TO ERRORS, OMISSIONS, OR REVISIONS OF THESE PLANS. OWNER/BUILDER MUST COMPLY WITH LOCAL BUILDING CODES PRIOR TO COMMENCEMENT OF CONSTRUCTION. THE PURCHASE OF THESE PLANS ENTITLES THE BUYER TO CONSTRUCT THE HOUSE ONLY ONCE. ANY CORRECTIONS OR ALTERING OF THESE PLANS IS NOT PERMITTED. VIOLATIONS WILL BE SUBJECT TO PROSECUTION UNDER COPYRIGHT LAWS.</small>	Project Name & Address 820 E HEATH ST ROCKWALL, TX 75087		RAFTER ROOF		<h1>4</h1>
		Legal Description LOT 7		Project number:		
				Date: 6/23/2023 Scale: 1/8" = 1'-0"		
				Drawn by: Projects & Construction Araque		



1 Front Elevation
1/8" = 1'-0"



2 Right Elevation
1/8" = 1'-0"



3 Left Elevation
1/8" = 1'-0"



THESE PLANS ARE INTENDED TO PROVIDE BASIC CONSTRUCTION INFORMATION NECESSARY TO SUBSTANTIALLY BUILD THIS STRUCTURE. THESE PLANS MUST BE VERIFIED AND CHECKED BY THE BUILDER, HOMEOWNER, AND ALL CONTRACTORS OF THIS JOB PRIOR TO CONSTRUCTION. BUILDER SHOULD OBTAIN COMPLETE ENGINEERING SERVICES, PERMITS AND STRUCTURAL BEFORE BEGINNING CONSTRUCTION OF ANY JOB. NOTE ALL FEDERAL, STATE, AND LOCAL CODES AND RESTRICTIONS TAKE PRECEDENCE OVER ANY PART OF THESE PLANS.

GREAT CARE AND EFFORT HAVE GONE INTO THE CREATION OF THESE BLUEPRINTS. HOWEVER, BECAUSE OF THE VARIANCE IN GEOGRAPHIC LOCATIONS, WE WILL NOT ASSUME LIABILITY FOR ANY DAMAGES DUE TO ERRORS, OMISSIONS, OR DEFICIENCIES ON THESE PLANS. OWNER/BUILDER MUST COMPLY WITH LOCAL BUILDING CODES PRIOR TO COMMENCEMENT OF CONSTRUCTION. THE PURCHASE OF THESE PLANS ENTITLES THE BUYER TO CONSTRUCT THIS HOUSE ONLY ONCE. ANY COPYING, TRADING, OR ALTERING OF THESE PLANS IS NOT PERMITTED. VIOLATORS WILL BE SUBJECT TO PROSECUTION UNDER COPYRIGHT LAWS.

Project Name & Address

820 E HEATH ST
ROCKWALL, TX 75087

Legal Description

LOT 7

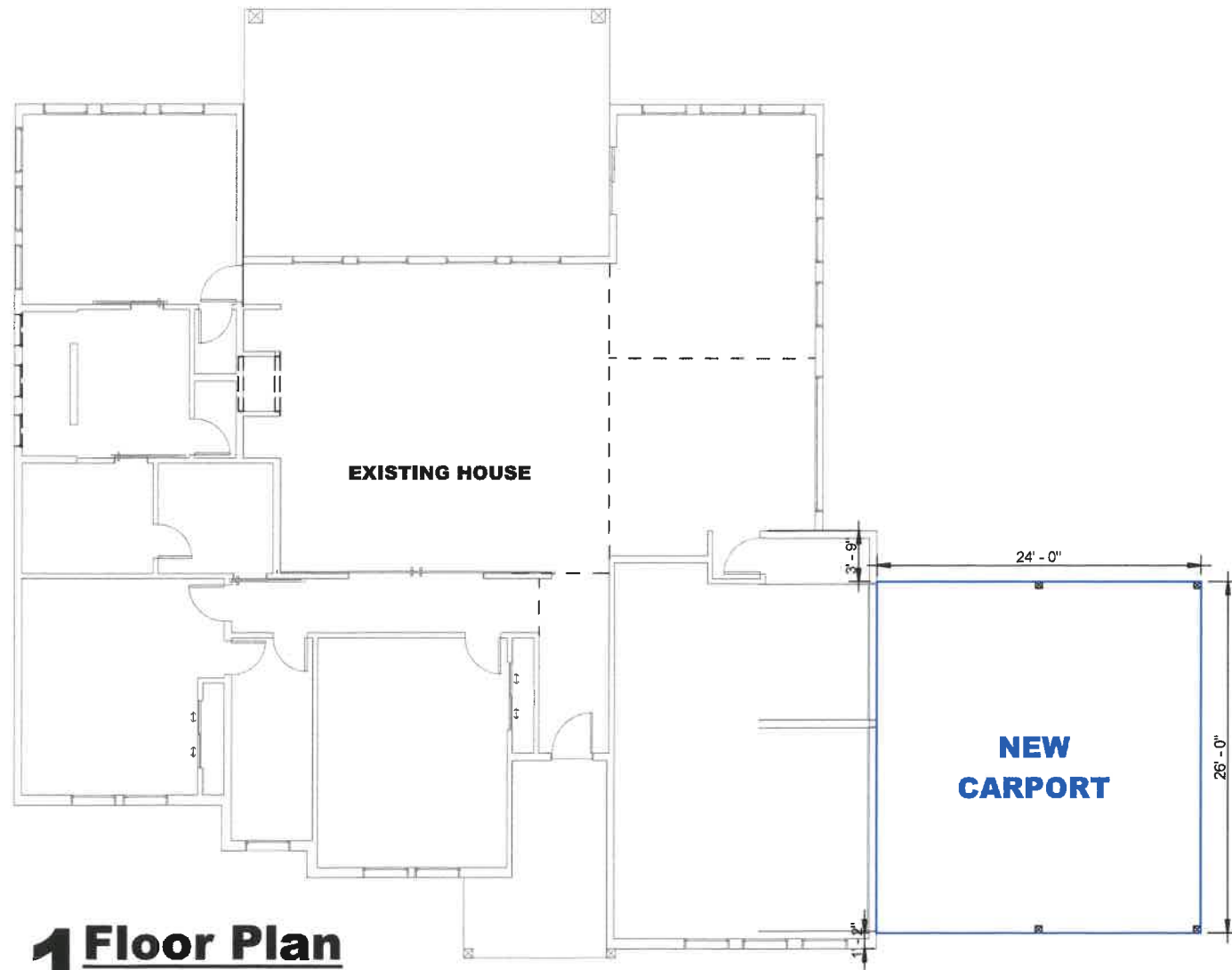
ELEVATIONS

Project number:

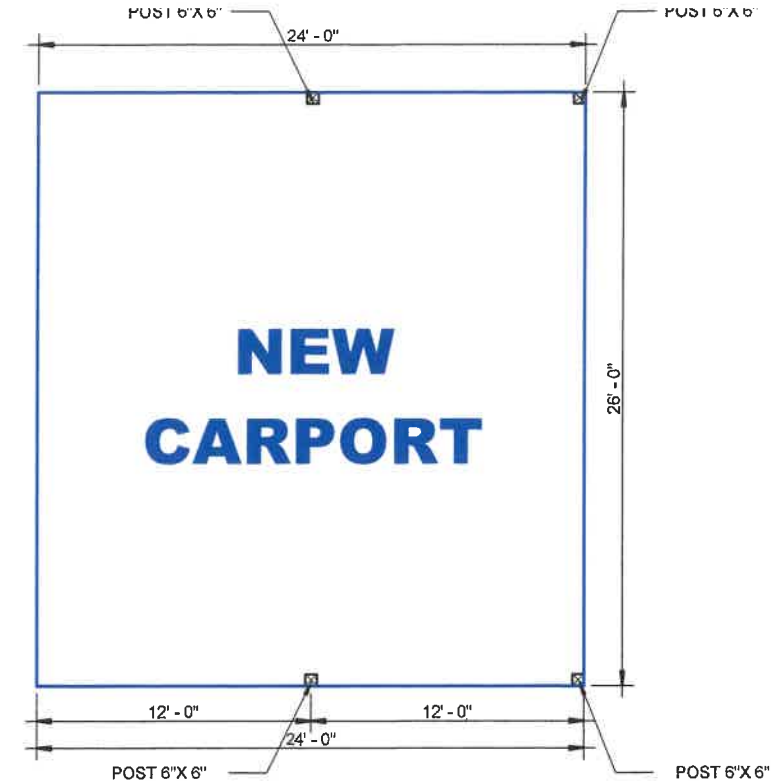
Date: 6/23/2023

Scale 1/8" = 1'-0"

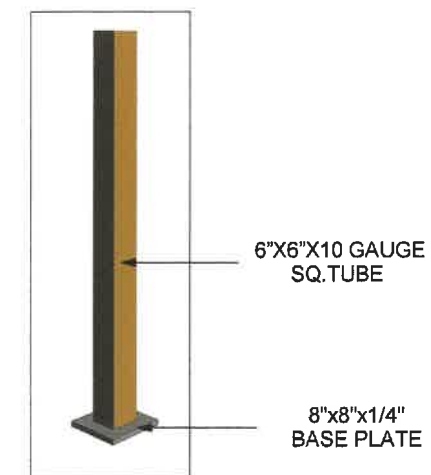
Drawn by: Projects & Construction Araque



1 Floor Plan
1/8" = 1'-0"



2 Top View Post
3/16" = 1'-0"



3 Detail Post



THESE PLANS ARE INTENDED TO PROVIDE BASIC CONSTRUCTION INFORMATION NECESSARY TO SUBSTANTIALLY BUILD THIS STRUCTURE. THESE PLANS MUST BE VERIFIED AND CHECKED BY THE BUILDER, HOMEOWNER, AND ALL CONTRACTORS OF THIS JOB PRIOR TO CONSTRUCTION. BUILDER SHOULD OBTAIN COMPLETE ENGINEERING SERVICES, PERMITS, AND STRUCTURAL BEFORE BEGINNING CONSTRUCTION OF ANY JOB. NOTE: ALL FEDERAL, STATE, AND LOCAL CODES AND RESTRICTIONS TAKE PRECEDENCE OVER ANY PART OF THESE PLANS.

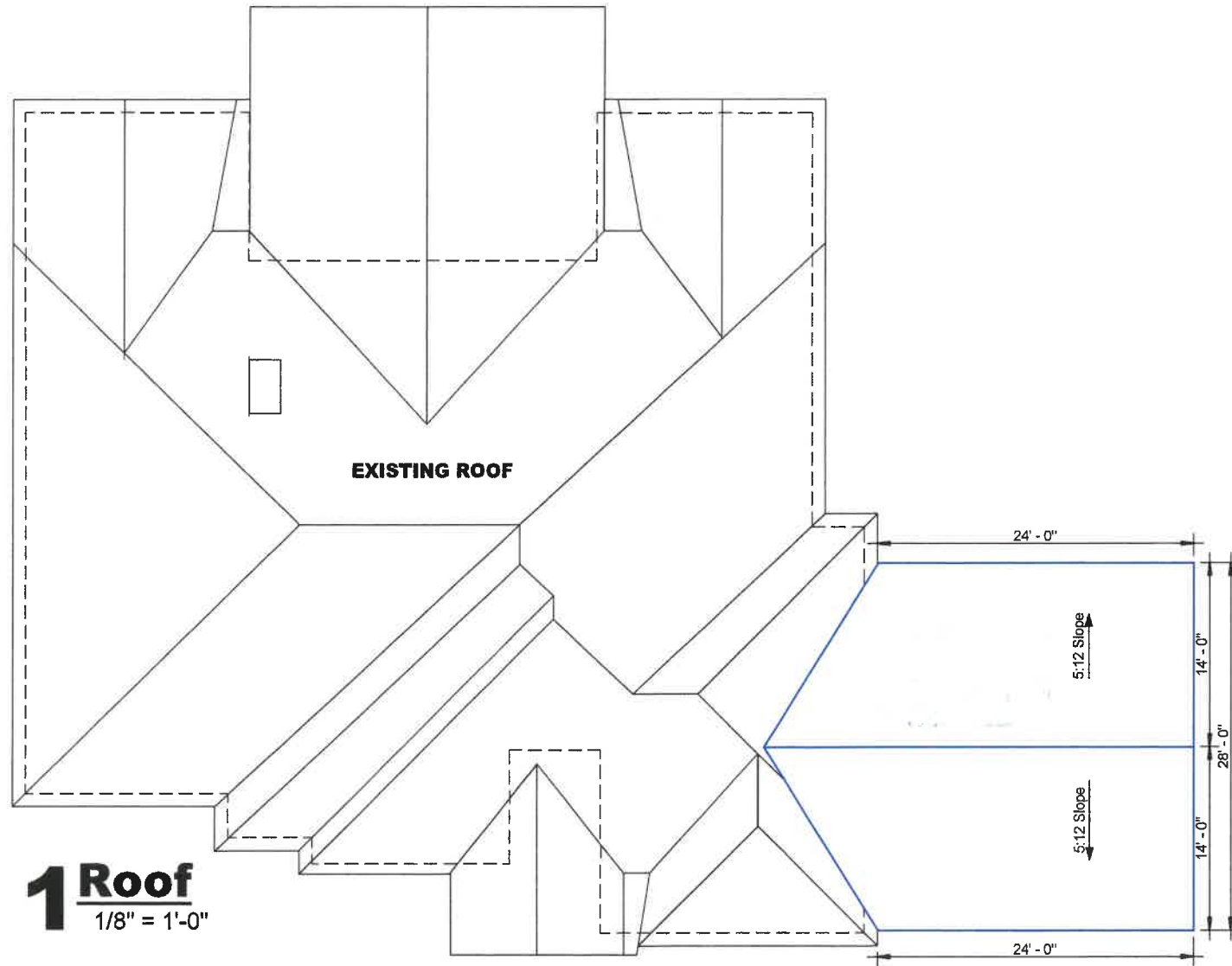
GREAT CARE AND EFFORT HAVE GONE INTO THE CREATION OF THESE BLUEPRINTS. HOWEVER, BECAUSE OF THE VARIANCE IN GEOGRAPHIC LOCATIONS, WE WILL NOT ASSUME LIABILITY FOR ANY DAMAGES DUE TO ERRORS, OMISSIONS, OR DEFICIENCIES ON THESE PLANS. OWNER/BUILDER MUST COMPLY WITH LOCAL BUILDING CODES PRIOR TO COMMENCEMENT OF CONSTRUCTION. THE PURCHASE OF THESE PLANS ENTITLES THE BUYER TO CONSTRUCT THIS HOUSE ONLY ONCE. ANY COPYING, TRACING, OR ALTERING OF THESE PLANS IS NOT PERMITTED. VIOLATORS WILL BE SUBJECT TO PROSECUTION UNDER COPYRIGHT LAWS.

Project Name & Address
820 E HEATH ST
ROCKWALL, TX 75087

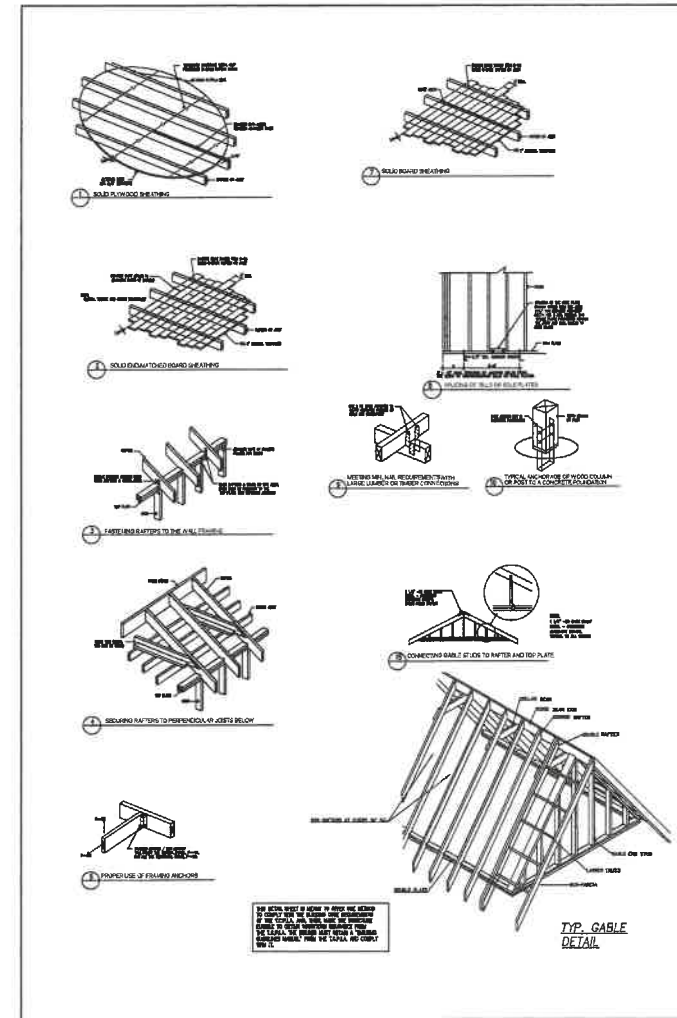
Legal Description
LOT 7

FLOOR PLAN	
Project number:	
Date:	6/23/2023 Scale As indicated
Drawn by: Projects & Construction Araque	

2



FRAMING NOTES



THESE PLANS ARE INTENDED TO PROVIDE BASIC CONSTRUCTION INFORMATION NECESSARY TO SUBSTANTIALLY BUILD THIS STRUCTURE. THESE PLANS MUST BE REVIEWED AND CHECKED BY THE BUILDER, HOMEOWNER, AND ALL CONTRACTORS OF THIS JOB PRIOR TO CONSTRUCTION. BUILDER SHOULD OBTAIN COMPLETE ENGINEERING SERVICES, PERMITS, AND STRUCTURAL BEFORE BEGINNING CONSTRUCTION OF ANY WORK. NOTE: ALL FEDERAL, STATE, AND LOCAL CODES AND RESTRICTIONS TAKE PRECEDENCE OVER ANY PART OF THESE PLANS.

GREAT CARE AND EFFORT HAVE GONE INTO THE CREATION OF THESE BLUEPRINTS. HOWEVER, BECAUSE OF THE VARIANCE IN GEOGRAPHIC LOCATIONS, THE BUILDER WILL NOT ASSUME LIABILITY FOR ANY DAMAGES DUE TO ERRORS, OMISSIONS, OR DEPENDENCIES ON THESE PLANS. OWNER/BUILDER MUST COMPLY WITH LOCAL BUILDING CODES PRIOR TO COMMENCEMENT OF CONSTRUCTION. THE PURCHASE OF THESE PLANS ENTERS THE BUYER TO CONSTRUCT THIS HOUSE ONLY ONCE. ANY OPTIMAL TWEAKS OR ALTERATIONS TO THESE PLANS IS NOT PERMITTED. VIOLATORS WILL BE SUBJECT TO PROSECUTION UNDER COPYRIGHT LAWS.

Project Name & Address
820 E HEATH ST
ROCKWALL, TX 75087

Legal Description
LOT 7

ROOF

Project number: _____

Date: 6/23/2023 Scale As indicated

Drawn by: Projects & Construction Araque

3

CITY OF ROCKWALL

ORDINANCE NO. 23-XX

AN ORDINANCE OF THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS, AMENDING THE UNIFIED DEVELOPMENT CODE [ORDINANCE NO. 20-02] OF THE CITY OF ROCKWALL, AS HERETOFORE AMENDED, SO AS TO GRANT A SPECIFIC USE PERMIT (SUP) FOR A CARPORT THAT DOES NOT MEET THE MINIMUM REQUIREMENTS ON AN 0.3492-ACRE PARCEL OF LAND IDENTIFIED AS LOT 7, BLOCK A, SOLAR VILLAGE ADDITION, CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS, AND BEING MORE SPECIFICALLY DESCRIBED AND DEPICTED IN EXHIBIT 'A' AND EXHIBIT 'B' OF THIS ORDINANCE; PROVIDING FOR SPECIAL CONDITIONS; PROVIDING FOR A PENALTY OF FINE NOT TO EXCEED THE SUM OF TWO THOUSAND DOLLARS (\$2,000.00) FOR EACH OFFENSE; PROVIDING FOR A SEVERABILITY CLAUSE; PROVIDING FOR A REPEALER CLAUSE; PROVIDING FOR AN EFFECTIVE DATE.

WHEREAS, the City has received a request from Richard Expo on behalf of Ryszard Waszczuk for the approval of a Specific Use Permit (SUP) for a *Carport* that does not meet the minimum requirements on an 0.3492-acre parcel of land identified as Lot 7, Block A, Solar Village Addition, City of Rockwall, Rockwall County, Texas, zoned Single-Family 7 (SF-7) District, addressed as 820 E. Heath Street, and more fully described and depicted in *Exhibit 'A'* and *Exhibit 'B'* of this ordinance, which hereinafter shall be referred to as the *Subject Property* and incorporated by reference herein; and

WHEREAS, the Planning and Zoning Commission of the City of Rockwall and the governing body of the City of Rockwall in compliance with the laws of the State of Texas and the ordinances of the City of Rockwall have given the requisite notices by publication and otherwise, and have held public hearings and afforded a full and fair hearing to all property owners generally and to all persons interested in and situated in the affected area, and in the vicinity thereof, and the governing body in the exercise of its legislative discretion, has concluded that the Unified Development Code (UDC) [*Ordinance No. 20-02*] should be amended as follows:

NOW, THEREFORE, BE IT ORDAINED BY THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS:

SECTION 1. That the Unified Development Code (UDC) [*Ordinance No. 20-02*] of the City of Rockwall, Texas, as heretofore amended, be and the same are hereby amended so as to grant a Specific Use Permit allowing for the establishment of a *Carport* that does not meet the minimum size or setback requirements for a carport in a Single Family 7 (SF-7) District as stipulated by, *Article 04, Permissible Uses*, and *Article V, District Development Standards*, of the Unified Development Code [*Ordinance No. 04-38*] on the *Subject Property*; and

SECTION 2. That the Specific Use Permit (SUP) shall be subject to the requirements set forth in Subsection 03.01, *General Residential District Standards*, and Subsection 03.09, *Single-Family 7 (SF-7) District*, of Article 05, *District Development Standards*, of the Unified Development Code (UDC) [*Ordinance No. 20-02*] -- as heretofore amended and may be amended in the future -- and with the following conditions:

2.1 OPERATIONAL CONDITIONS

The following conditions pertain to the operation of a carport on the *Subject Property* and conformance to these requirements is necessary for continued operations:

- (1) The carport shall maintain conformance to the approved site plan and building elevations depicted in *Exhibits 'A' & 'B'* of this ordinance.
- (2) The carport shall not exceed a maximum size of 625 SF.
- (3) The carport shall not exceed a maximum overall height of 17-feet.
- (4) The carport is subject to administrative review in the event that the *Subject Property* is sold, conveyed or altered in any manner.

2.2. COMPLIANCE

Approval of this ordinance in accordance with Subsection 02.02, *Specific Use Permits (SUP)*, of Article 11, *Development Applications and Review Procedures*, of the Unified Development Code (UDC) will require compliance to the following:

- (1) Upon obtaining a building permit, should the business owner operating under the guidelines of this ordinance fail to meet the minimum operational requirements set forth herein and outlined in the Unified Development Code (UDC), the City may (*after proper notice*) initiate proceedings to revoke the Specific Use Permit (SUP) in accordance with Subsection 02.02(F), *Revocation*, of Article 11, *Development Applications and Revision Procedures*, of the Unified Development Code (UDC) [*Ordinance No. 20-02*].

SECTION 3. That the official zoning map of the City be corrected to reflect the changes in the zoning described herein;

SECTION 4. Any person, firm, or corporation violating any of the provisions of this ordinance shall be deemed guilty of a misdemeanor and upon conviction shall be punished by a penalty of fine not to exceed the sum of *Two Thousand Dollars (\$2,000.00)* for each offence and each and every day such offense shall continue shall be deemed to constitute a separate offense;

SECTION 5. If any section, paragraph, or provision of this ordinance or the application of that section, paragraph, or provision to any person, firm, corporation or situation is for any reason judged invalid, the adjudication shall not affect any other section, paragraph, or provision of this ordinance or the application of any other section, paragraph or provision to any other person, firm, corporation or situation, nor shall adjudication affect any other section, paragraph, or provision of the Unified Development Code (UDC) of the City of Rockwall, Texas, and the City Council declares that it would have adopted the valid portions and applications of the ordinance without the invalid parts and to this end the provisions for this ordinance are declared to be severable; and

SECTION 6. That all ordinances of the City of Rockwall in conflict with the provisions of this ordinance be and the same are hereby repealed, and all other ordinances of the City of Rockwall not in conflict with the provisions of this ordinance shall remain in full force and effect;

SECTION 7. That this ordinance shall take effect immediately from and after its passage.

PASSED AND APPROVED BY THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS,
THIS THE 5th DAY OF SEPTEMBER, 2023.

Trace Johannessen, Mayor

ATTEST:

Kristy Teague, City Secretary

APPROVED AS TO FORM:

Frank J. Garza, City Attorney

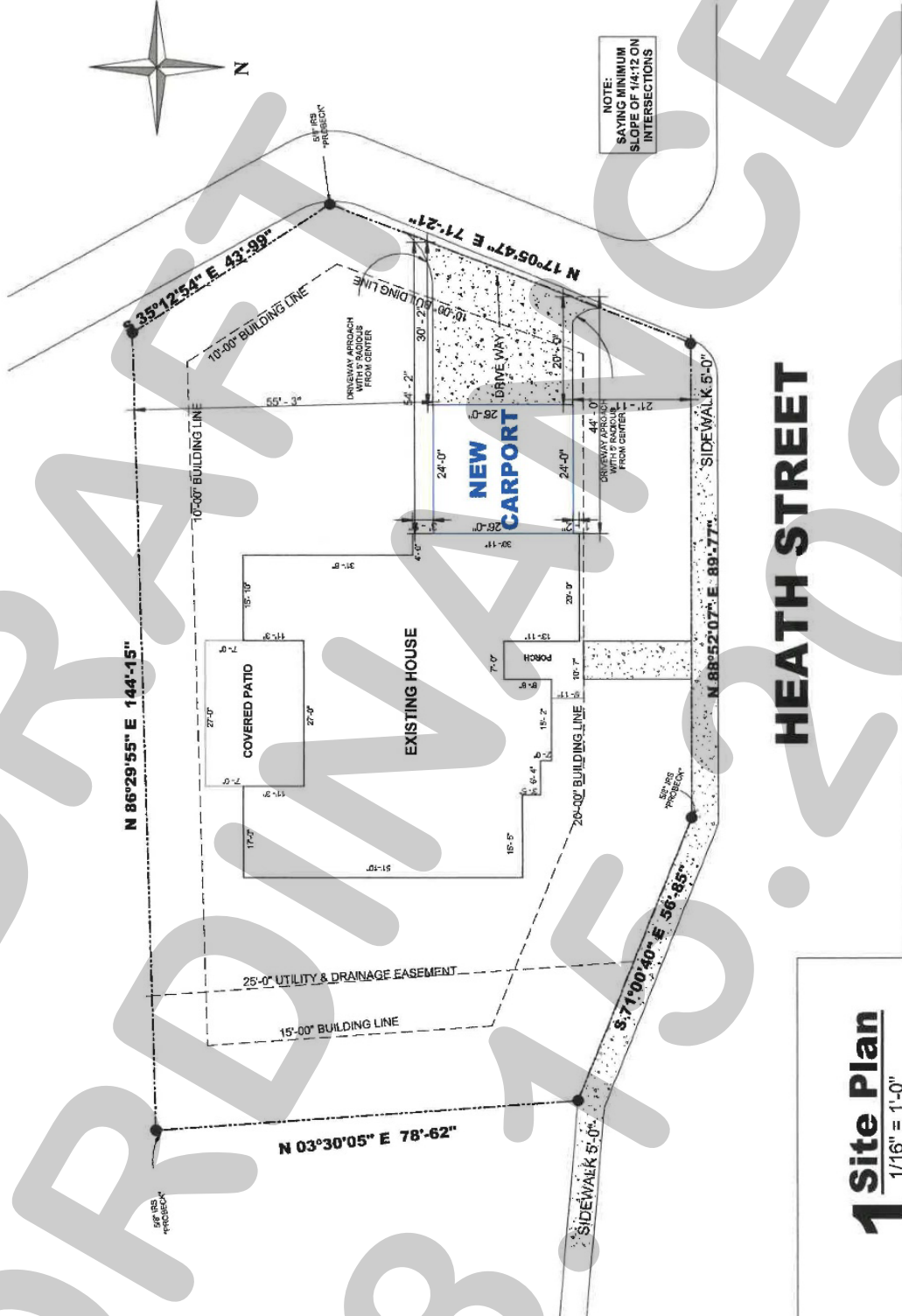
1st Reading: August 21, 2023

2nd Reading: September 5, 2023

Exhibit 'A'
Concept Plan



NOTE:
SAVING MINIMUM
SLOPE OF 1/412 ON
INTERSECTIONS



HEATH STREET

1 Site Plan
1/16" = 1'-0"



CITY OF ROCKWALL

PLANNING AND ZONING COMMISSION CASE MEMO

PLANNING AND ZONING DEPARTMENT

385 S. GOLIAD STREET • ROCKWALL, TX 75087

PHONE: (972) 771-7745 • EMAIL: PLANNING@ROCKWALL.COM

TO: Planning and Zoning Commission
DATE: August 15, 2023
APPLICANT: James and Mary Blocker
CASE NUMBER: Z2023-037; *Specific Use Permit (SUP) for an Accessory Building at 1796 Mystic Street*

SUMMARY

Hold a public hearing to discuss and consider a request by James and Mary Blocker for the approval of a Specific Use Permit (SUP) for an *Accessory Building* on a 0.1199-acre parcel of land identified as Lot 8, Block A, Newport Place Addition, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 19 (PD-19), addressed as 1796 Mystic Street, and take any action necessary.

BACKGROUND

The subject property was annexed into the City of Rockwall circa 1982. The subject property was zoned Agricultural (AG) District at the time of annexation. On August 2, 1982, the subject property was re Planned Development District 19 (PD-19), and has remained zoned Planned Development District (PD-19). On July 20, 1987, Planned Development District 19 (PD-19) was amended changing the subject property to allow zero-lot-line homes. On June 26, 1996, a final plat [Case No. Z1996-099-01] for the Newport Place Subdivision was filed with Rockwall County. This established the subject property as Lot 8, Block A, Newport Place Addition. According to the Rockwall County Appraisal District (RCAD) currently situated on the subject property is a 2,705 SF single-family home that was constructed in 1997 and a 120 SF storage building that was constructed in 2007.

PURPOSE

The applicants -- *James and Mary Blocker* -- are requesting the approval of a Specific Use Permit (SUP) to allow for the construction of an *Accessory Structure* that exceeds the overall maximum allowable square footage as stipulated by Subsection 07.04, *Accessory Structure Development Standards*, of Article 05, *District Development Standards*, of the Unified Development Code (UDC).

ADJACENT LAND USES AND ACCESS

The subject property is addressed as 1796 Mystic Street. The land uses adjacent to the subject property are as follows:

North: Directly north of the subject property are several residential lots with single-family homesthat are part of the Lago Vista Subdivision, and are zoned Planned Development District 18 (PD-18). Beyond this is a portion of the Moton Subdivision, which consists of 37 lots and has been in existence since December 7, 1966. All of these properties are zoned Planned Development District 32 (PD-32). North of this is Summer Lee Drive, which is identified as a *Minor Collector* on the City's Master Thoroughfare Plan contained in the OURHometown Vision 2040 Comprehensive Plan.

South: Directly south of the subject property are several single-family homes, which are part of the Newport Place Subdivision. The properties are zoned Planned Development District 19 (PD-19) for zero-lot-line homes. South of these lots is Summer Lee Drive, which is identified as a *Minor Collector* on the City's Master Thoroughfare Plan contained in the OURHometown Vision 2040 Comprehensive Plan. Beyond this is Phase 20 of the Chandlers Landing Subdivision, which consists of 63 residential lots and has been in existence since June 7, 1985. These properties are zoned Planned Development District 8 (PD-8).

East: Directly east of the subject property are several single-family homes, which are part of the Lago Vista Subdivision. These properties are zoned Planned Development District 18 (PD-18). Beyond this is Chaparral Lane, which is classified as a R2 (*i.e. residential, two [2] lane, undivided roadway*) on the City's Master Thoroughfare Plan contained in the OURHometown Vision 2040 Comprehensive Plan. East of this is a 4.1527-acre parcel of land that consists of the Brookdale Summer Ridge Assisted Living Center [*i.e. Lot 1, Block A, Rockwall Assisted Living Addition*].

West: Directly west of the subject property are several single-family homes, which are part of the Lago Vista Subdivision. These properties are zoned Planned Development District 18 (PD-18). Beyond this is Summer Lee Drive, which is identified as a *Minor Collector* on the City's Master Thoroughfare Plan contained in the OURHometown Vision 2040 Comprehensive Plan. West of this is The Harbor Rockwall Addition, which is zoned Planned Development District 32 (PD-32).

CHARACTERISTICS OF THE REQUEST

The applicant has submitted a development application, site plan, and building elevations proposing to construct a ten (10) foot by 12-foot (*or 120 SF*) accessory building on the subject property. The proposed accessory building will be clad in a composite panel, anchored to a concrete foundation, and will stand less than ten (10) feet in height as measured to the mid-point of the pitched roof. The proposed structure will be situated in the rear yard and be a minimum of three (3) feet from the rear yard and five (5) feet from the side yard property lines.

CONFORMANCE WITH THE CITY'S CODES

According to Subsection 07.04, *Accessory Structure Development Standards*, of Article 05, *District Development Standards*, of the Unified Development Code (UDC), Planned Development District 19 (PD-19) allows a total of one (1) accessory structure. The maximum square footage of an accessory building is 100 SF. Accessory structures are limited to a maximum height of 10-feet. The setbacks for an accessory structure in Planned Development District 19 (PD-19) are three (3) feet from the rear property line and three (3) feet from the side-yard property line. Accessory structures are also required to have a minimum of six (6) feet of separation from any other building or structure. This section of the code goes on to state, "(a)ccessory buildings and structures shall be architecturally compatible with the primary structure, and be situated behind the front façade of the primary structure ... [*and*] (a)ccessory buildings and structures not meeting the size requirements stipulated by this section shall require a Specific Use Permit (SUP)." Staff should point out that the applicant has indicated that there is an existing accessory structure on the property that will be removed and replaced with the proposed accessory building.

STAFF ANALYSIS

In this case, the applicant's request generally conforms to the height requirements for an accessory building; however, the accessory structure *does not* adhere to the maximum allowable size for an accessory structure in Planned Development District 19 (PD-19). Specifically, the accessory structure will exceed the permitted 100 SF by 20 SF. Staff should point out that the property is located on a zero-lot line property, which is why the maximum allowable size for an accessory structure is limited 100 SF. Normally, the maximum allowable size for an accessory structure is 144 SF, which is 24 SF over the applicant's request. With the exception of the size, the proposed accessory structure meets all of the setback requirements for an accessory structure in Planned Development District 19 (PD-19). Based on the proposed size and location of the accessory building, staff should point out that this structure will have very limited visibility from the adjacent properties and no visibility from adjacent public rights-of-way. In addition, the applicant will be replacing the existing accessory structure, which is the same size as the proposed accessory structure; however, the approval of a Specific Use Permit (SUP) request is a discretionary decision for the City Council pending a recommendation from the Planning and Zoning Commission.

NOTIFICATIONS

On July 21, 2023, staff mailed 141 notices to property owners and occupants within 500-feet of the subject property. Staff also notified the Lago Vista, Water's Edge Lake Ray Hubbard, Signal Ridge, and Chandler's Landing Homeowner's Associations (HOAs) which were the only Homeowner's Associations (HOAs) within the 1,500-foot buffer participating in the Neighborhood Notification Program. Additionally, staff posted a sign on the subject property, and advertised the public hearings in the Rockwall

Herald Banner as required by the Unified Development Code (UDC). At the time this report was drafted, staff had not received any notices back in regards to the request.

CONDITIONS OF APPROVAL

If the Planning and Zoning Commission chooses to recommend approval of the applicant's request for a Specific Use Permit (SUP) for an Accessory Building, then staff would propose the following conditions of approval:

- (1) The applicant shall be responsible for maintaining compliance with the operational conditions contained in the Specific Use Permit (SUP) ordinance and which are detailed as follows:
 - (a) The development of the Subject Property shall generally conform to the Site Plan as depicted in Exhibit 'B' of the Specific Use Permit (SUP) ordinance.
 - (b) The construction of an Accessory Structure on the Subject Property shall generally conform to the Building Elevations and Accessory Structure Details depicted in Exhibit 'C' of the Specific Use Permit (SUP) ordinance.
 - (c) The Accessory Structure shall be built on an engineered concrete foundation that will support the weight of the proposed structure.
 - (d) The Accessory Structure shall not exceed a maximum building footprint or size of 120 SF.
 - (e) The maximum height of the Accessory Structure shall not exceed a maximum of 10-feet as measured from the mid-point of the pitched roof.
 - (f) The Accessory Structure shall not be sold or conveyed separately from the single-family home without meeting the requirements of the zoning district and subdivision ordinance.
- (2) Any construction resulting from the approval of this Specific Use Permit (SUP) shall conform to the requirements set forth by the Unified Development Code (UDC), the International Building Code (IBC), the Rockwall Municipal Code of Ordinances, city adopted engineering and fire codes and with all other applicable regulatory requirements administered and/or enforced by the state and federal government.



DEVELOPMENT APPLICATION

City of Rockwall
Planning and Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087

STAFF USE ONLY
PLANNING & ZONING CASE NO. _____
NOTE: THE APPLICATION IS NOT CONSIDERED ACCEPTED BY THE CITY UNTIL THE PLANNING DIRECTOR AND CITY ENGINEER HAVE SIGNED BELOW.
DIRECTOR OF PLANNING: _____
CITY ENGINEER: _____

PLEASE CHECK THE APPROPRIATE BOX BELOW TO INDICATE THE TYPE OF DEVELOPMENT REQUEST [SELECT ONLY ONE BOX]:

PLATTING APPLICATION FEES:
 MASTER PLAT (\$100.00 + \$15.00 ACRE) ¹
 PRELIMINARY PLAT (\$200.00 + \$15.00 ACRE) ¹
 FINAL PLAT (\$300.00 + \$20.00 ACRE) ¹
 REPLAT (\$300.00 + \$20.00 ACRE) ¹
 AMENDING OR MINOR PLAT (\$150.00)
 PLAT REINSTATEMENT REQUEST (\$100.00)
SITE PLAN APPLICATION FEES:
 SITE PLAN (\$250.00 + \$20.00 ACRE) ¹
 AMENDED SITE PLAN/ELEVATIONS/LANDSCAPING PLAN (\$100.00)

ZONING APPLICATION FEES:
 ZONING CHANGE (\$200.00 + \$15.00 ACRE) ¹
 SPECIFIC USE PERMIT (\$200.00 + \$15.00 ACRE) ^{1 & 2}
 PD DEVELOPMENT PLANS (\$200.00 + \$15.00 ACRE) ¹
OTHER APPLICATION FEES:
 TREE REMOVAL (\$75.00)
 VARIANCE REQUEST/SPECIAL EXCEPTIONS (\$100.00) ²
NOTES:
¹: IN DETERMINING THE FEE, PLEASE USE THE EXACT ACREAGE WHEN MULTIPLYING BY THE PER ACRE AMOUNT. FOR REQUESTS ON LESS THAN ONE ACRE, ROUND UP TO ONE (1) ACRE.
²: A \$1,000.00 FEE WILL BE ADDED TO THE APPLICATION FEE FOR ANY REQUEST THAT INVOLVES CONSTRUCTION WITHOUT OR NOT IN COMPLIANCE TO AN APPROVED BUILDING PERMIT.

PROPERTY INFORMATION [PLEASE PRINT]

ADDRESS: 1796 Mystic Street Rockwall Texas 75082
SUBDIVISION: Newport place LOT: 8 BLOCK: A
GENERAL LOCATION: _____

ZONING, SITE PLAN AND PLATTING INFORMATION [PLEASE PRINT]

CURRENT ZONING: _____ CURRENT USE: _____
PROPOSED ZONING: _____ PROPOSED USE: _____
ACREAGE: _____ LOTS [CURRENT]: _____ LOTS [PROPOSED]: _____

SITE PLANS AND PLATS: BY CHECKING THIS BOX YOU ACKNOWLEDGE THAT DUE TO THE PASSAGE OF HB3167 THE CITY NO LONGER HAS FLEXIBILITY WITH REGARD TO ITS APPROVAL PROCESS, AND FAILURE TO ADDRESS ANY OF STAFF'S COMMENTS BY THE DATE PROVIDED ON THE DEVELOPMENT CALENDAR WILL RESULT IN THE DENIAL OF YOUR CASE.

OWNER/APPLICANT/AGENT INFORMATION [PLEASE PRINT/CHECK THE PRIMARY CONTACT/ORIGINAL SIGNATURES ARE REQUIRED]

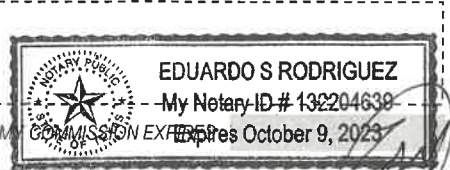
OWNER: James + Mary Blocker APPLICANT: _____
CONTACT PERSON: Mary Blocker CONTACT PERSON: _____
ADDRESS: 1796 Mystic street ADDRESS: _____
CITY, STATE & ZIP: Rockwall, Texas 75082 CITY, STATE & ZIP: _____
PHONE: 469-467-6310 PHONE: _____
E-MAIL: mary@blockermail.com E-MAIL: _____

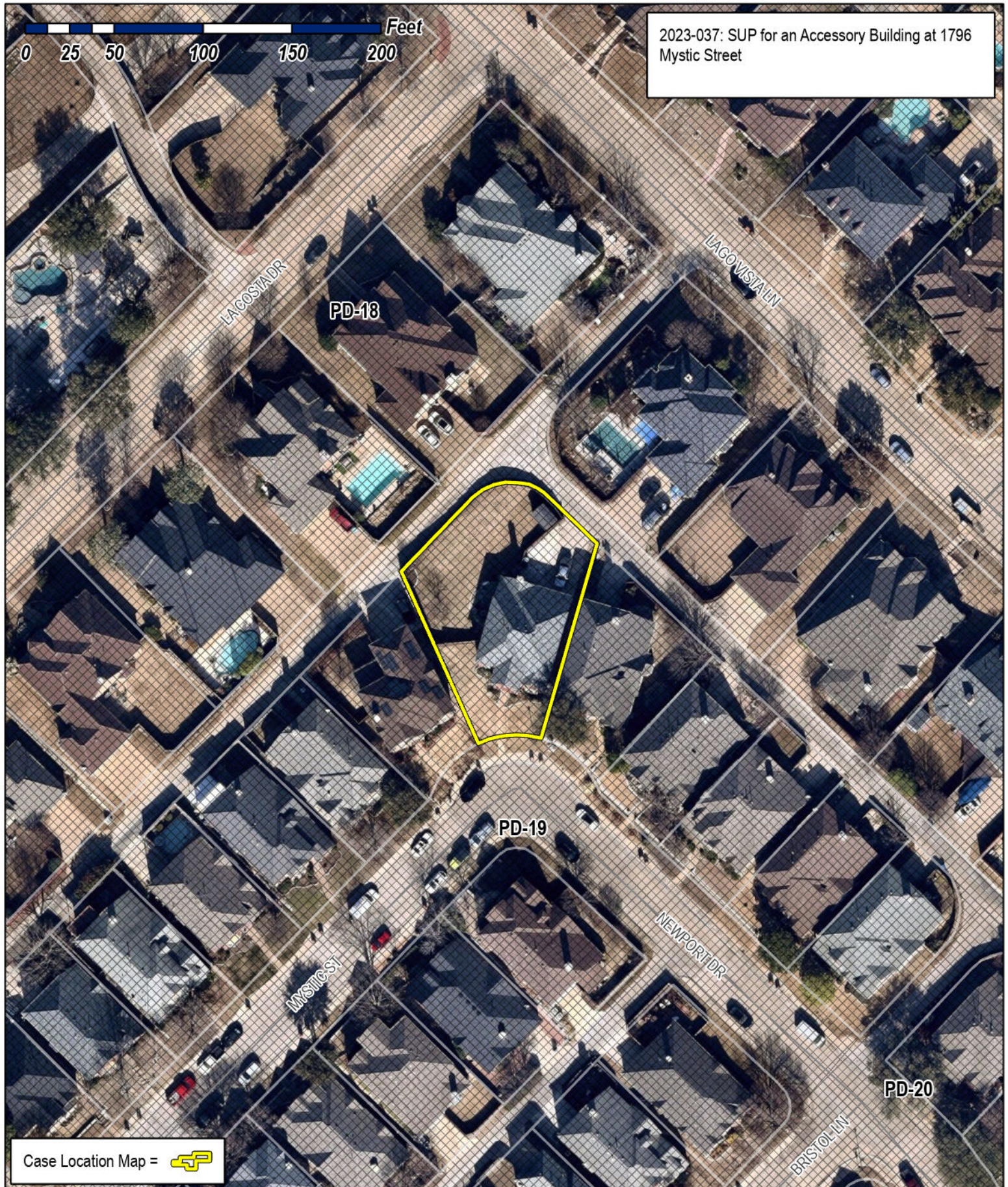
NOTARY VERIFICATION [REQUIRED]

BEFORE ME, THE UNDERSIGNED AUTHORITY, ON THIS DAY PERSONALLY APPEARED Mary Blocker [OWNER] THE UNDERSIGNED, WHO STATED THE INFORMATION ON THIS APPLICATION TO BE TRUE AND CERTIFIED THE FOLLOWING:


"I HEREBY CERTIFY THAT I AM THE OWNER FOR THE PURPOSE OF THIS APPLICATION; ALL INFORMATION SUBMITTED HEREIN IS TRUE AND CORRECT; AND THE APPLICATION FEE OF \$ 275.00 TO COVER THE COST OF THIS APPLICATION, HAS BEEN PAID TO THE CITY OF ROCKWALL ON THIS THE 14th DAY OF July 2023 BY SIGNING THIS APPLICATION, I AGREE THAT THE CITY OF ROCKWALL (I.E. "CITY") IS AUTHORIZED AND PERMITTED TO PROVIDE INFORMATION CONTAINED WITHIN THIS APPLICATION TO THE PUBLIC. THE CITY IS ALSO AUTHORIZED AND PERMITTED TO REPRODUCE ANY COPYRIGHTED INFORMATION SUBMITTED IN CONJUNCTION WITH THIS APPLICATION, IF SUCH REPRODUCTION IS ASSOCIATED OR IN RESPONSE TO A REQUEST FOR PUBLIC INFORMATION."

GIVEN UNDER MY HAND AND SEAL OF OFFICE ON THIS THE 14th DAY OF July 2023
OWNER'S SIGNATURE: Mary Blocker
NOTARY PUBLIC IN AND FOR THE STATE OF TEXAS: Eduardo S Rodriguez





2023-037: SUP for an Accessory Building at 1796 Mystic Street

Case Location Map = 



City of Rockwall

Planning & Zoning Department
 385 S. Goliad Street
 Rockwall, Texas 75087
 (P): (972) 771-7745
 (W): www.rockwall.com

The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.

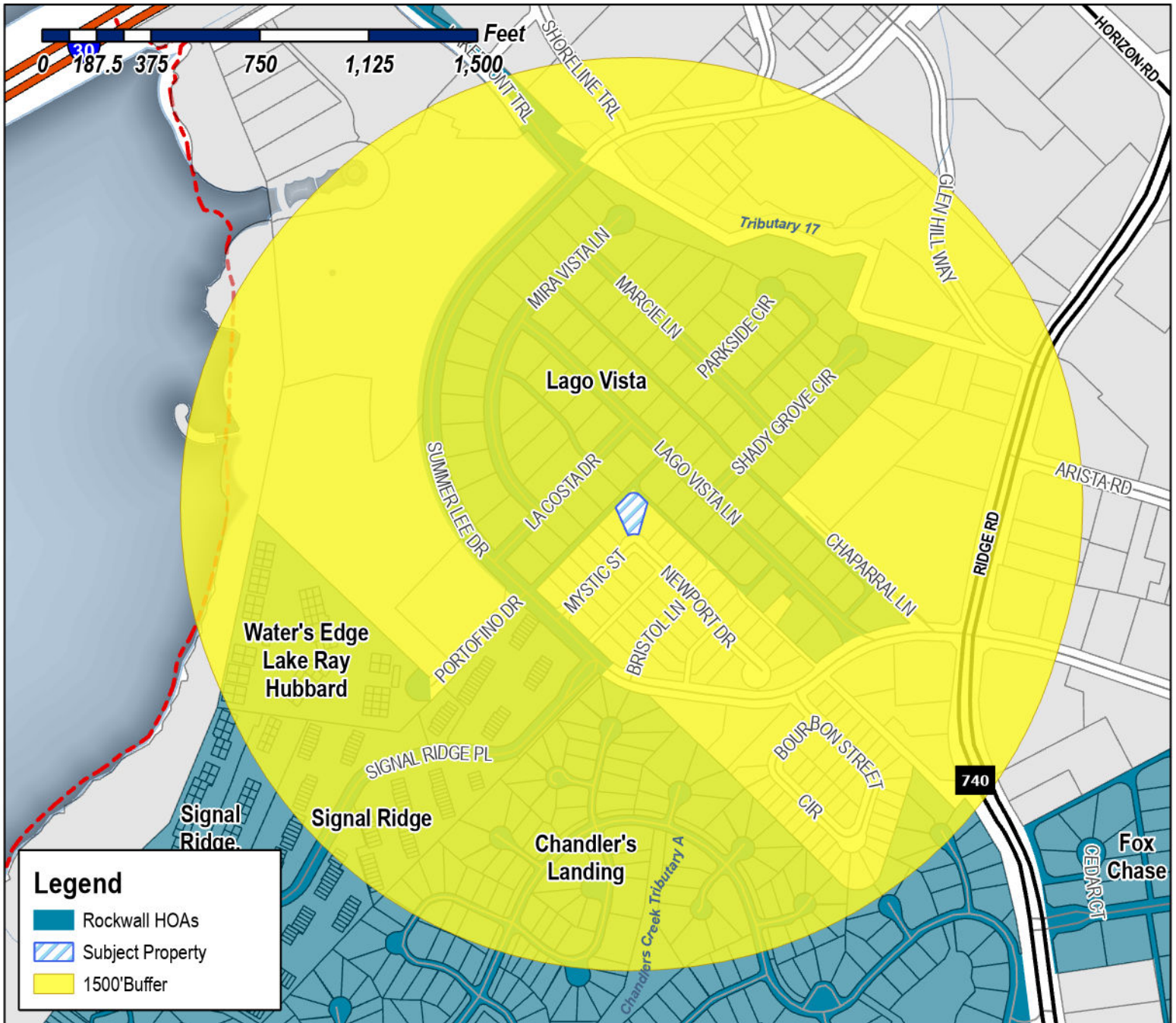




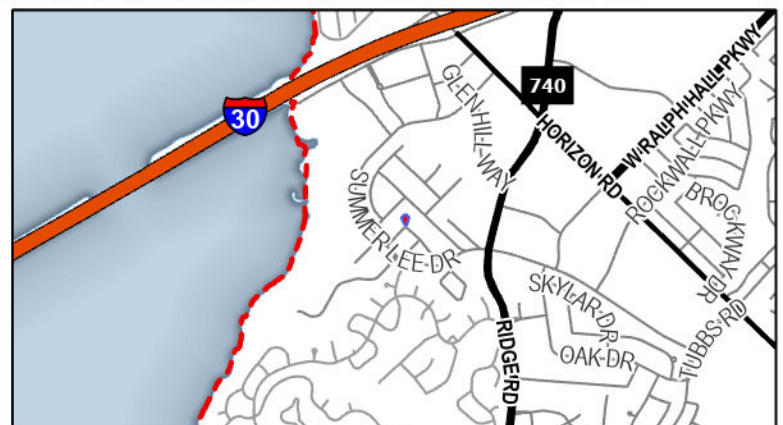
City of Rockwall

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Case Number: Z2023-037
Case Name: SUP for an Accessory Building
Case Type: Zoning
Zoning: Planned Development 9 (PD-9)
Case Address: 1796 Mystic Lane



Date Saved: 7/14/2023
 For Questions on this Case Call (972) 771-7745

From: [Zavala, Melanie](#)
Cc: [Miller, Ryan](#); [Ross, Bethany](#); [Lee, Henry](#); [Guevara, Angelica](#)
Subject: Neighborhood Notification Program [Z2023-037]
Date: Wednesday, July 19, 2023 9:04:14 AM
Attachments: [HOA Map \(07.14.2023\).pdf](#)
[Public Notice \(P&Z\) \(7.17.2023\).pdf](#)

HOA/Neighborhood Association Representative:

Per your participation in the [Neighborhood Notification Program](#), you are receiving this notice to inform your organization that a zoning case has been filed with the City of Rockwall that is located within 1,500-feet of the boundaries of your neighborhood. As the contact listed for your organization, you are encouraged to share this information with the residents of your subdivision. Please find the attached map detailing the property requesting to be rezoned in relation to your subdivision boundaries. Additionally, below is the summary of the zoning case that will be published in the Rockwall Herald Banner on [July 21, 2023](#). The Planning and Zoning Commission will hold a public hearing on [Tuesday, August 15, 2023 at 6:00 PM](#), and the City Council will hold a public hearing on [Monday, August 21, 2023 at 6:00 PM](#). Both hearings will take place at 6:00 PM at City Hall, 385 S. Goliad, Rockwall, TX 75087.

All interested parties are encouraged to submit public comments via email to Planning@rockwall.com at least 30 minutes in advance of the meeting. Please include your name, address, and the case number your comments are referring to. These comments will be read into the record during each of the public hearings. Additional information on all current development cases can be found on the City's website: <https://sites.google.com/site/rockwallplanning/development/development-cases>.

-
Z2023-037: SUP for an Accessory Building

Hold a public hearing to discuss and consider a request by James and Mary Blocker for the approval of a Specific Use Permit (SUP) for an Accessory Building on a 0.1199-acre parcel of land identified as Lot 8, Block A, Newport Place Addition, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 19 (PD-19), addressed as 1796 Mystic Street, and take any action necessary.

-
Thank you,

Melanie Zavala

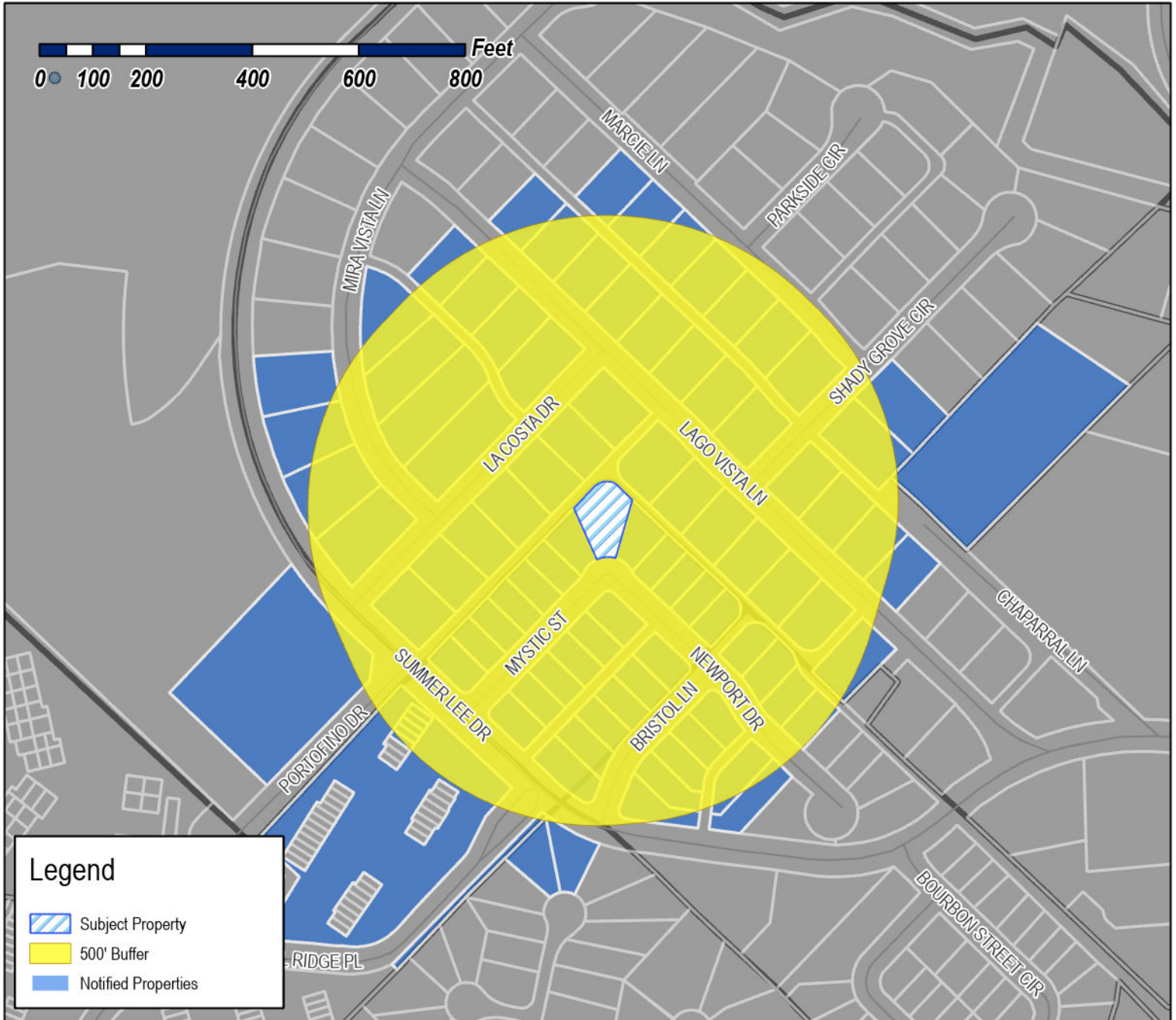
Planning & Zoning Coordinator | Planning Dept. | City of Rockwall
385 S. Goliad Street | Rockwall, TX 75087
<http://www.rockwall.com/>
972-771-7745 Ext. 6568



City of Rockwall

Planning & Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087
(P): (972) 771-7745
(W): www.rockwall.com

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Case Number: Z2023-037
Case Name: SUP for an Accessory Building
Case Type: Zoning
Zoning: Planned Development 9 (PD-9)
Case Address: 1796 Mystic Street



Date Saved: 7/14/2023

For Questions on this Case Call: (972) 771-7746

BCL REAL ESTATE LLC
103 GROSS RD
MESQUITE, TX 75149

NORTEX PROPERTIES INC
% JOSEPH L ZEHR
10808 LA CABREAH LN
FORT WAYNE, IN 46845

CASTRO CRISTINA
113 MAYFLOWER CT
ROCKWALL, TX 75032

JURCA JACOB S AND JACLYN J
115 MAYFLOWER CT
ROCKWALL, TX 75032

HPA BORROWER 2016-1 LLC
120 S RIVERSIDE PLZ SUITE 2000
CHICAGO, IL 60606

NALBANDIAN SASSOUN
12335 MCLENNAN AVENUE
GRANADA HILLS, CA 91344

ABOUD LOUIE BRYAN AND REBEKAH E
1543 SHADY GROVE CIR
ROCKWALL, TX 75032

BLENK KENNETH W & LAURA E
1553 SHADY GROVE CIR
ROCKWALL, TX 75032

RIKE RHONDA D & GARY R
1773 LA COSTA DR
ROCKWALL, TX 75032

AMIN MOHAMMAD N & SAJIDA
1781 LA COSTA DR
ROCKWALL, TX 75032

VANG DEBBIE AND YEE
1791 LA COSTA DR
ROCKWALL, TX 75032

BLOCKER JAMES ROBERT & MARY KATHERINE
TRUSTEES
JAMES & MARY BLOCKER FAMILY TRUST
1796 MYSTIC STREET
ROCKWALL, TX 75032

ANSARI MOHAMMAD TARIQ
1799 LA COSTA DR
ROCKWALL, TX 75032

TEEL ALVIN AND EUAMDEUANE
1802 MYSTIC ST
ROCKWALL, TX 75032

REYNOLDS MICHAEL W AND STEPHANE
1803 MYSTIC STREET
ROCKWALL, TX 75032

RESIDENT
1806 MYSTIC ST
ROCKWALL, TX 75032

MOSS WILLIAM B & COLLEEN W
1806 BRISTOL LN
ROCKWALL, TX 75032

DENYSSCHEN REGENALD R & SALLY
1807 LA COSTA DR
ROCKWALL, TX 75032

LORD DEE A
1809 BRISTOL LN
ROCKWALL, TX 75032

SHIELDS KENNETH L AND SANDRA J
1809 MYSTIC STREET
ROCKWALL, TX 75032

RESIDENT
1810 MYSTIC ST
ROCKWALL, TX 75032

RESIDENT
1812 BRISTOL LN
ROCKWALL, TX 75032

RIDDLE LARRY W & NANCY
1813 MYSTIC ST
ROCKWALL, TX 75032

ELVIA INV LLC
1814 MYSTIC ST
ROCKWALL, TX 75032

MARTIN GRAHAM S AND
SAMANTHA M BARTELL
1815 BRISTOL LANE
ROCKWALL, TX 75032

GATSON OSCAR D & PATSY M
1816 BRISTOL LN
ROCKWALL, TX 75032

LASPE FAMILY TRUST
FORREST ROBERT LASPE & NANCY KAY LASPE,
TRUSTEES
1817 LA COSTA DR
ROCKWALL, TX 75032

ESPINOZA CARLOS DAVID AND KATIE LYNN
1817 MYSTIC STREET
ROCKWALL, TX 75032

FITZGERALD LARRY AND JEANA MARIE
1818 MYSTIC STREET
ROCKWALL, TX 75032

FLOYD LISA
1819 BRISTOL LN
ROCKWALL, TX 75032

GONZALES KAYLEIGH AND RICHARD
1820 BRISTOL LANE
ROCKWALL, TX 75032

FUENTES DANIEL & LISA
1821 MYSTIC ST
ROCKWALL, TX 75032

WILSON PATRICIA
1822 MYSTIC ST
ROCKWALL, TX 75032

RESIDENT
1823 BRISTOL LN
ROCKWALL, TX 75032

PATRICK JANET
WILLIAMS PAUL KIRKLAND
1824 BRISTOL LN
ROCKWALL, TX 75032

FORD SAMUEL M & SUSAN D
1825 LA COSTA DR
ROCKWALL, TX 75032

RESIDENT
1827 MYSTIC ST
ROCKWALL, TX 75032

WHITE LISA
1828 MYSTIC ST
ROCKWALL, TX 75032

TIPPS MIGUEL
1829 BRISTOL LN
ROCKWALL, TX 75032

PHILLIPS DEBRA
1830 BRISTOL LN
ROCKWALL, TX 75032

BOJORQUEZ MANUEL & LYNSEY
19185 PALM VIS
YORBA LINDA, CA 92886

RESIDENT
1995 SUMMER LEE DR
ROCKWALL, TX 75032

HENDERSON DON AND MARIA
234 BRISTOL CT
HEATH, TX 75032

HENDERSON DON AND MARIA
234 BRISTOL CT
HEATH, TX 75032

SWERCINSKY CAPRICE MICHELLE
240 WILLOWCREST
ROCKWALL, TX 75032

ROCKWALL LOT 3 OWNER LLC
255 ALHAMBRA CIRCLE SUITE 760
CORAL GABLES, FL 33134

HOWELL BRIAN K
2704 FOXCHASE LN
ROCKWALL, TX 75032

POLGAR ROBERT PETER & MARLA
2807 MIRA VISTA LN
ROCKWALL, TX 75032

BRADFORD PATRICIA L
2816 LAGO VISTA LN
ROCKWALL, TX 75032

JOHNSTON MARK D AND LISA P
2818 MIRA VISTA LN
ROCKWALL, TX 75032

HEDGPETH JAMES L & JANIE M
2821 LAGO VISTA LN
ROCKWALL, TX 75032

MENG HENG AND KUYKHIM CHAN
2823 MIRA VISTA LN
ROCKWALL, TX 75032

NGUYEN LE MINHCHAU AND
BRYAN NGUYEN LE AND JESSICA NGUYEN LE
2824 LAGO VISTA LN
ROCKWALL, TX 75032

MCBANE JANET T AND
TRESA LEE MCBANE
2828 MIRA VISTA LN
ROCKWALL, TX 75032

JAMES PATRICK W & TERESA F
2829 LAGO VISTA LN
ROCKWALL, TX 75032

WAISNER CYNTHIA L AND GLEN R WAISNER JR
2830 MARCIE LANE
ROCKWALL, TX 75032

TOLBERT MELISSA RENAE
2834 LAGO VISTA LANE
ROCKWALL, TX 75032

POLLOCK REX L & RITA K
2835 MIRA VISTA LN
ROCKWALL, TX 75032

WOMBLE JOHN & GINGER
2836 MIRA VISTA LN
ROCKWALL, TX 75032

MYERS RYAN AND ALEJANDRA
2837 LAGO VISTA LANE
ROCKWALL, TX 75032

MANI KARTHICK
2838 MARCIE LN
ROCKWALL, TX 75032

KURIAN P K & THANKAMA
2842 LAGO VISTA LN
ROCKWALL, TX 75032

TAGGART MICHAEL AND KELLY
2843 MIRA VISTA LN
ROCKWALL, TX 75032

SOLERO DANIEL J AND ANDREA
2844 MIRA VISTA LN
ROCKWALL, TX 75032

GIBSON KAREN R & BRUCE K
2845 LAGO VISTA LANE
ROCKWALL, TX 75032

WILONSKY MICHAEL F & HOLLY L HAMMOND-
WILONSKY
2846 MARCIE LANE
ROCKWALL, TX 75032

MEADE BRENDA S
2853 LAGO VISTA LN
ROCKWALL, TX 75032

SANFORD CLOVIS E & BARBARA
2854 MARCIE LN
ROCKWALL, TX 75032

CENTER JESSICA AND BRENT DAVID
2862 MARCIE LANE
ROCKWALL, TX 75032

KIM YONG WOO
2863 LAGO VISTA LN
ROCKWALL, TX 75032

RESIDENT
2870 MARCIE LN
ROCKWALL, TX 75032

MILLER JIMMIE D II & KELLI R
2871 LAGO VISTA LN
ROCKWALL, TX 75032

BROWNING DONNA J
2872 LAGO VISTA LN
ROCKWALL, TX 75032

SHUPP TERRY & BETTY
2879 LAGO VISTA LN
ROCKWALL, TX 75032

RESIDENT
2880 MARCIE LN
ROCKWALL, TX 75032

RUBENSTEIN ALAN & GINA STRICKLIN
2880 LAGO VISTA LANE
ROCKWALL, TX 75032

HEINDEL MATTHEW A & HEATHER
2881 NEWPORT PLACE
ROCKWALL, TX 75032

QUINTERO BERTHA L
2885 NEWPORT DR
ROCKWALL, TX 75032

GILGER LIVING TRUST
MAC J GILGER AND REBECCA L
2888 LAGO VISTA LN
ROCKWALL, TX 75032

RESIDENT
2889 NEWPORT DR
ROCKWALL, TX 75032

GWIE KIONG OEN & RONY THERESIA
2901 NEWPORT DR
ROCKWALL, TX 75032

WALLS DEREK P & KAREN J
2904 LAGO VISTA LN
ROCKWALL, TX 75032

MAILLY FAMILY TRUST
BRUCE W AND EVE C MAILLY
2905 LAGO VISTA LANE
ROCKWALL, TX 75032

DEVYANI SEEMA T
2905 NEWPORT DRIVE
ROCKWALL, TX 75032

ENGLISH-RIEGER CAROL W
2911 LAGO VISTA LN
ROCKWALL, TX 75032

VEGA EMMANUEL M VILLA
2911 NEWPORT DRIVE
ROCKWALL, TX 75032

RESIDENT
2912 LAGO VISTA LN
ROCKWALL, TX 75032

RESIDENT
2917 NEWPORT DR
ROCKWALL, TX 75032

MASSEY CHARLES A & ROYCE A
2919 LAGO VISTA LN
ROCKWALL, TX 75032

WAFFER DANNY KAY
2920 LAGO VISTA LANE
ROCKWALL, TX 75032

RESIDENT
2923 NEWPORT DR
ROCKWALL, TX 75032

MACIVOR ZARAH
2927 LAGO VISTA LANE
ROCKWALL, TX 75032

CRIBARI JAMES & DEBBIE
2928 NEWPORT DRIVE
ROCKWALL, TX 75032

HAGOS SELAMAWIT AND
EMANUELE DI STEFANO
2929 NEWPORT PLACE
ROCKWALL, TX 75032

SMITH JAY E & KRISTY A
2932 LAGO VISTA LN
ROCKWALL, TX 75032

MONSERATE NIDA S & MACARIO
2934 NEWPORT DR
ROCKWALL, TX 75032

NAIDOO PAUL
3904 ASPEN DR #3123
ROWLETT, TX 75088

RESIDENT
400 CHAPARRAL LN
ROCKWALL, TX 75032

YANO SHINYA
C/O OPEN HOUSE CO., LTD,
5050 QUORUM DRIVE SUITE 610
DALLAS, TX 75254

KING LINDA D REV LIVING TR
LINDA D KING TRUSTEE
519 E INTERSTATE 30
ROCKWALL, TX 75087

ABARCA CARLOS ALBERTO RIVERS
7709 BRIARCREST CT
IRVING, TX 75063

RESIDENT
801 SIGNAL RIDGE PL
ROCKWALL, TX 75032

CRUZ WILLIAM
820 FAITH TRL
HEATH, TX 75032

RESIDENT
901 SIGNAL RIDGE PL
ROCKWALL, TX 75032

LOYCE HOPKINS 2017 REVOCABLE TRUST
LOYCE ANN HOPKINS TRUSTEE
902 SIGNAL RIDGE PLACE
ROCKWALL, TX 75032

TURANO DEBRA SUE
903 SIGNAL RIDGE PL
ROCKWALL, TX 75032

RESIDENT
904 SIGNAL RIDGE PL
ROCKWALL, TX 75032

CHAPMAN LAURA J AND RONALD L
905 SIGNAL RIDGE PL
ROCKWALL, TX 75032

KRUGER KARIN
P O BOX 1388
ROCKWALL, TX 75087

HAQ REZA AHMED & SHELINA KARIM
PO BOX 6952
HUNTSVILLE, AL 35813

PARAMOUNT LAURELS LLC
PO BOX 786
WYLIE, TX 75098

PUBLIC NOTICE



CITY OF ROCKWALL
PLANNING AND ZONING DEPARTMENT
PHONE: (972) 771-7745
EMAIL: PLANNING@ROCKWALL.COM

Property Owner and/or Resident of the City of Rockwall:

You are hereby notified that the City of Rockwall Planning and Zoning Commission and City Council will consider the following application:

Z2023-037: SUP for an Accessory Building

Hold a public hearing to discuss and consider a request by James and Mary Blocker for the approval of a Specific Use Permit (SUP) for an Accessory Building on a 0.1199-acre parcel of land identified as Lot 8, Block A, Newport Place Addition, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 19 (PD-19), addressed as 1796 Mystic Street, and take any action necessary.

For the purpose of considering the effects of such a request, the Planning and Zoning Commission will hold a public hearing on Tuesday, August 15, 2023 at 6:00 PM, and the City Council will hold a public hearing on Monday, August 21, 2023 at 6:00 PM. These hearings will be held in the City Council Chambers at City Hall, 385 S. Goliad Street.

As an interested property owner, you are invited to attend these meetings. If you prefer to express your thoughts in writing please return the form to:

Angelica Guevara
Rockwall Planning and Zoning Dept.
385 S. Goliad Street
Rockwall, TX 75087

You may also email your comments to the Planning Department at planning@rockwall.com. If you choose to email the Planning Department please include your name and address for identification purposes.

Your comments must be received by Monday, August 21, 2023 at 4:00 PM to ensure they are included in the information provided to the City Council.

Sincerely,

Ryan Miller, AICP
Director of Planning & Zoning



MORE INFORMATION ON THIS CASE CAN BE FOUND AT: <https://sites.google.com/site/rockwallplanning/development/development-cases>

PLEASE RETURN THE BELOW FORM

Case No. Z2023-037: SUP for an Accessory Building

Please place a check mark on the appropriate line below:

- I am in favor of the request for the reasons listed below.
- I am opposed to the request for the reasons listed below.

Name:

Address:

Tex. Loc. Gov. Code, Sec. 211.006 (d) If a proposed change to a regulation or boundary is protested in accordance with this subsection, the proposed change must receive, in order to take effect, the affirmative vote of at least three-fourths of all members of the governing body. The protest must be written and signed by the owners of at least 20 percent of either: (1) the area of the lots or land covered by the proposed change; or (2) the area of the lots or land immediately adjoining the area covered by the proposed change and extending 200 feet from that area.

PLEASE SEE LOCATION MAP OF SUBJECT PROPERTY ON THE BACK OF THIS NOTICE

7509 PENNRIDGE CIRCLE
ROWLETT, TX 75088

SURVEY PLAT

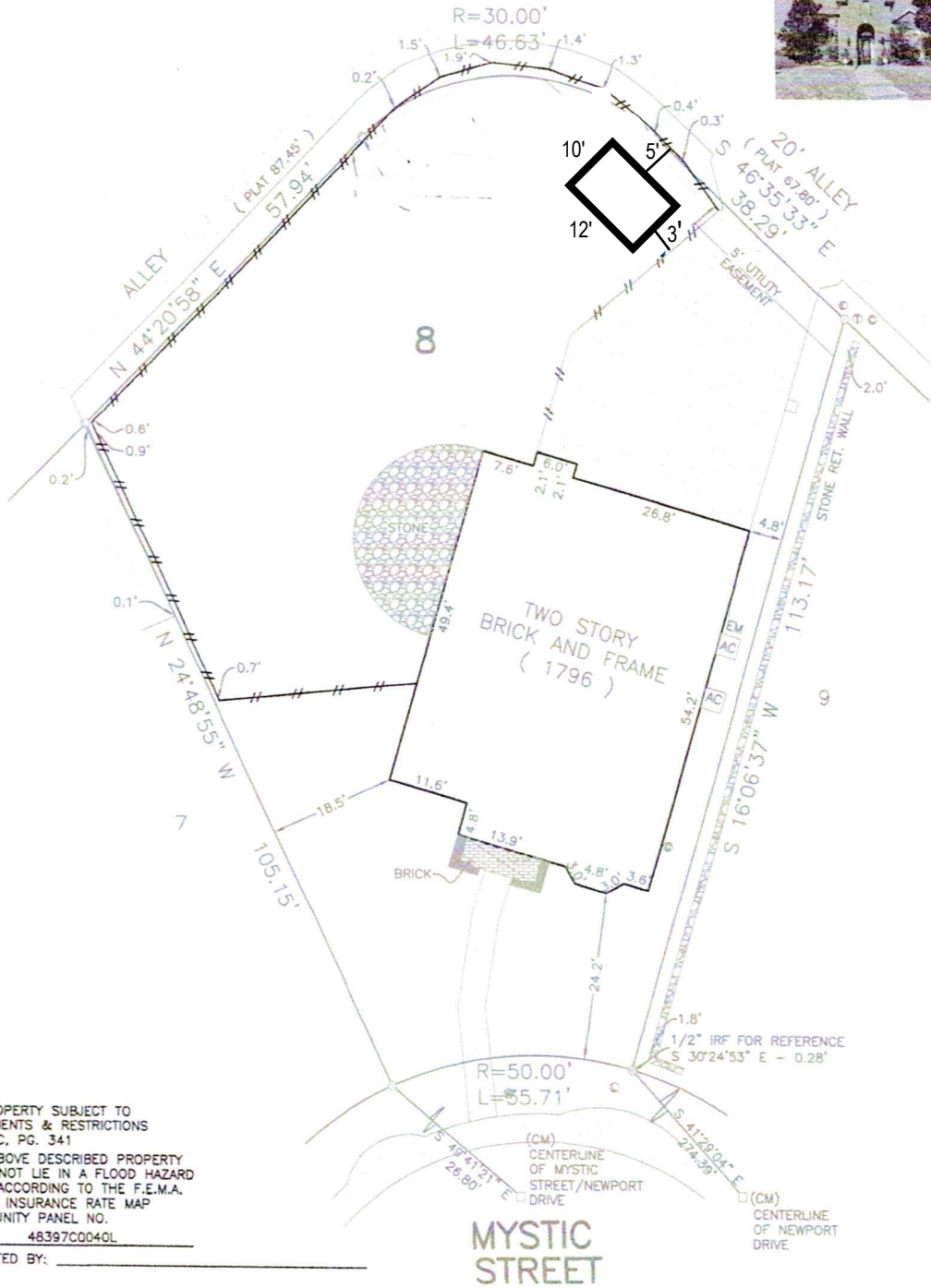


FIRM REGISTRATION NO. 10194366

BARRY S. RHODES Registered Professional Land Surveyor (214) 326-1090

This is to certify that I have, this date, made a careful and accurate survey on the ground of property located at No. 1796 MYSTIC STREET in the City of ROCKWALL Texas.

Being Lot 8, Block A, RePlat Newport Place, an Addition to the City of Rockwall, Rockwall County, Texas, according to the Plat thereof recorded in Cabinet C, Slide 393, Plat Records, Rockwall County, Texas.



PROPERTY SUBJECT TO EASEMENTS & RESTRICTIONS VOL. C, PG. 341
THE ABOVE DESCRIBED PROPERTY DOES NOT LIE IN A FLOOD HAZARD AREA ACCORDING TO THE F.E.M.A. FLOOD INSURANCE RATE MAP COMMUNITY PANEL NO. 48397C0040L

ACCEPTED BY: _____

The plat hereon is true, correct, and accurate representation of the property as determined by survey, the lines and dimensions of said property being as indicated by the plat: the size, location and type of building and improvements are as shown, all improvements being within the boundaries of the property, set back from property lines the distance indicated, or visible and apparent easements. TITLE AND ABSTRACTING WORK FURNISHED BY TEXAS PREMIER TITLE
THERE ARE NO ENCROACHMENTS, CONFLICTS, OR PROTRUSIONS, EXCEPT AS SHOWN.
Scale: 1" = 20'
Date: 10/30/2020
G. F. No.: TPT20-04264JP
Job no.: 202008582
Drawn by: BG
USE OF THIS SURVEY FOR ANY OTHER PURPOSE OR OTHER PARTIES SHALL BE AT THEIR RISK AND UNDERSIGNED IS NOT RESPONSIBLE TO OTHER FOR ANY LOSS RESULTING THEREFROM.
THIS SURVEY WAS PERFORMED EXCLUSIVELY FOR TEXAS PREMIER TITLE

LEGEND

WOOD FENCE	---	TEXT
CHAIN LINK	-O-	APPROXIMATE
IRON FENCE	---	BOUNDARY LINE
WIRE FENCE	-X-	RESIDENCE
CM	-	CONTROLLING INSTRUMENT
1/2" IRON ROD FOUND	○	
1/2" YELLOW-CAPPED IRON ROD SET	○	
SET "X"	○	
FOUND "X"	○	
5/8" IRON ROD FOUND	○	
POINT FOR CORNER	○	
C	-	CABLE
○	-	ELECTRIC
○	-	CLEAR CUT
○	-	POOL EQUIP
○	-	GAS METER
○	-	POWER POLE
○	-	FIRE HYDRANT
○	-	TELEPHONE
○	-	LIGHT POLE
○	-	WATER METER
○	-	MANHOLE
○	-	WATER VALVE
		(UNLESS OTHERWISE NOTED)

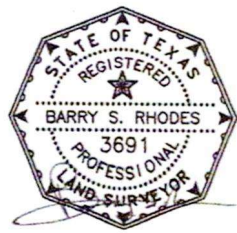
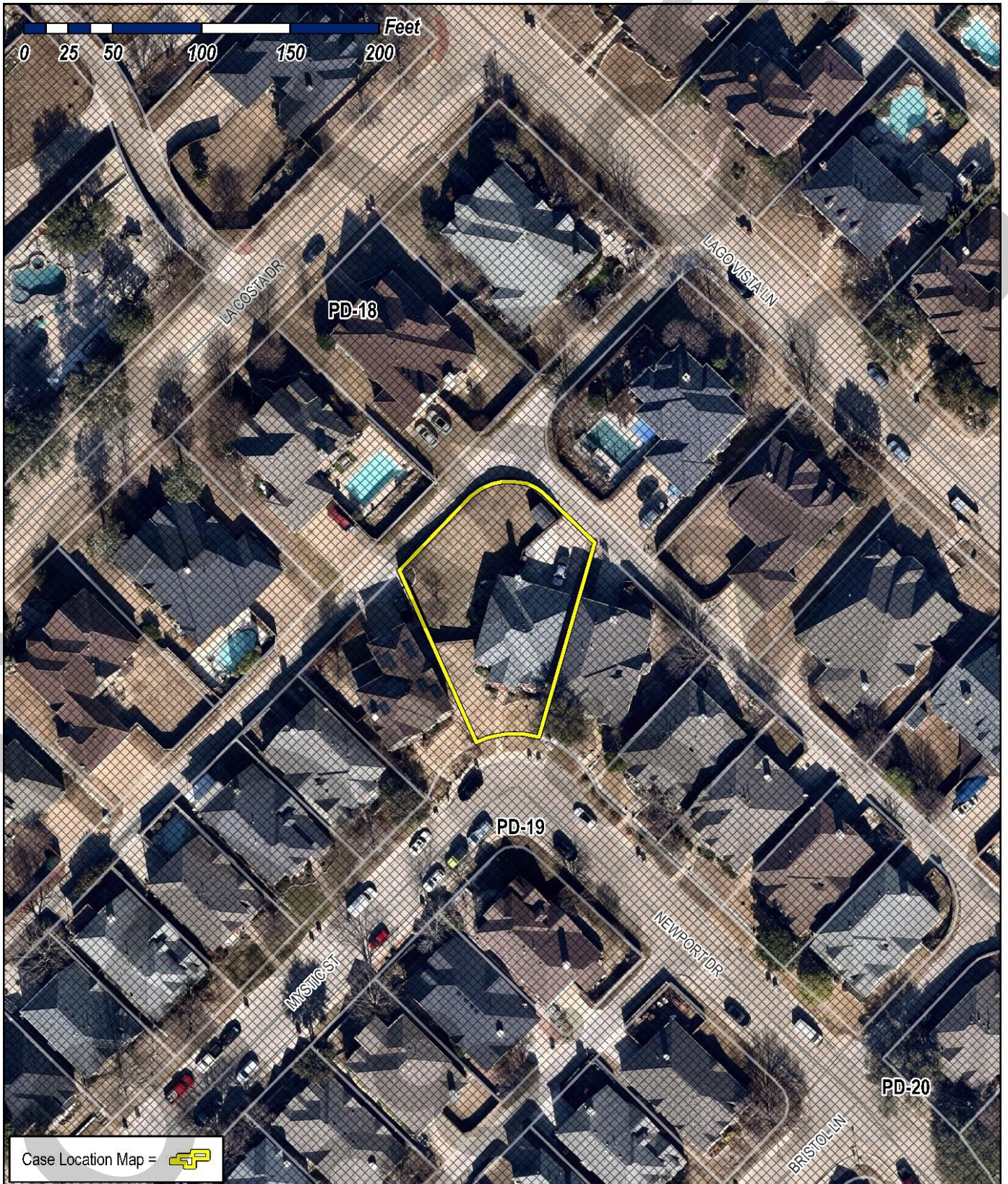


Exhibit 'A'
Location Map and Legal Description

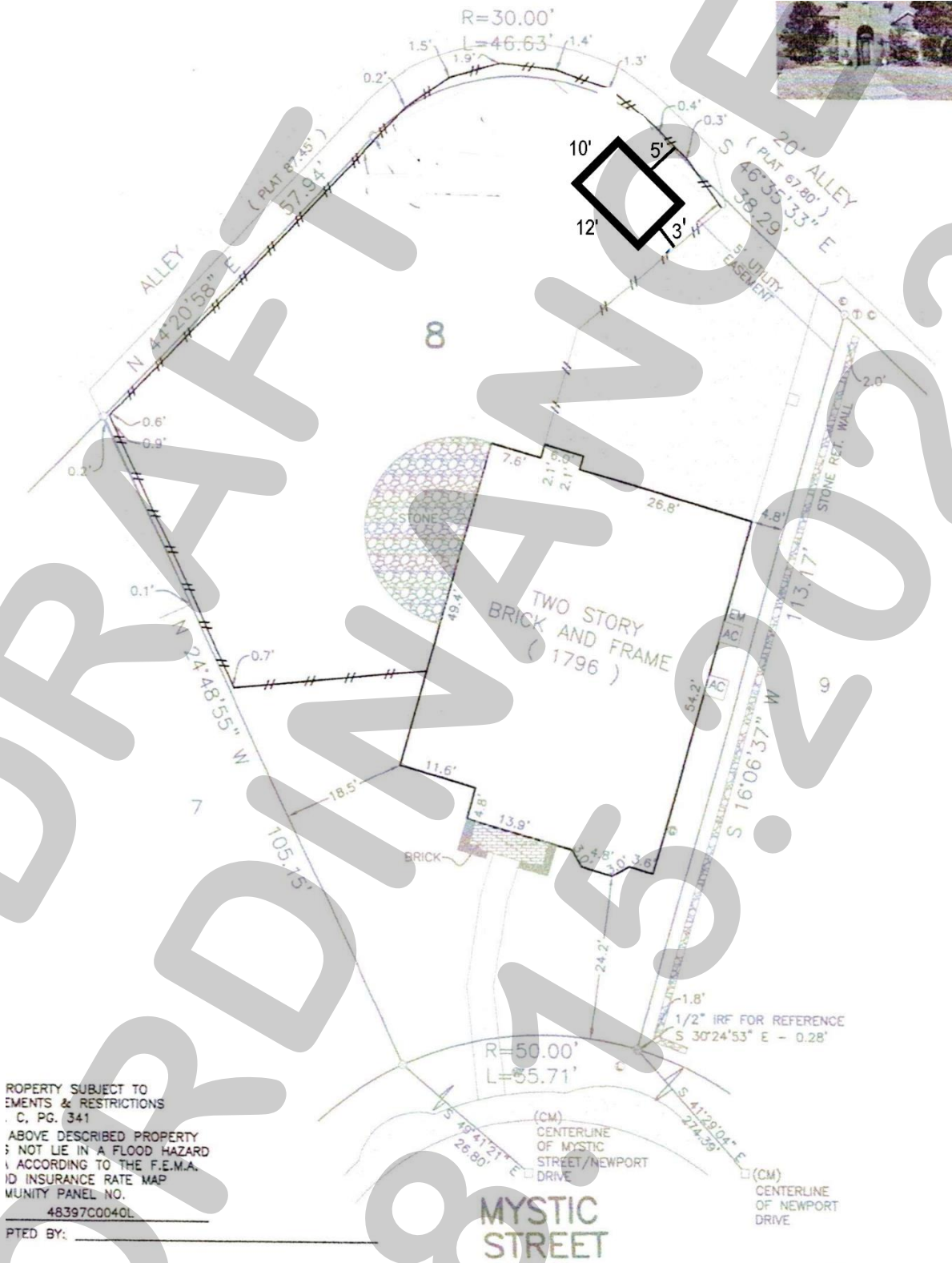
Address: 1796 Mystic Street

Legal Description: Lot 8, Block A, Newport Place Addition



2023-03 S P r M S r P 4
 rd 23- S P S-2

Exhibit 'B':
Site Plan



PROPERTY SUBJECT TO EASEMENTS & RESTRICTIONS
 C. PG. 341
 ABOVE DESCRIBED PROPERTY IS NOT LIE IN A FLOOD HAZARD AREA ACCORDING TO THE F.E.M.A. FLOOD INSURANCE RATE MAP COMMUNITY PANEL NO. 48397C0040L

PREPARED BY: _____

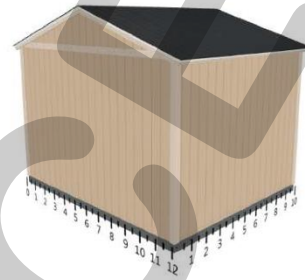
2023-03 S-P M S P
 rd 2023 S-P S-2

City of Rockwall, Texas

Exhibit 'C':
Building Elevations & Accessory Structure Details

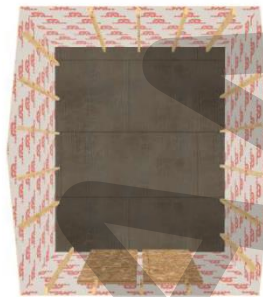


Wall A



Wall C

Wall D



Wall B

Base Details/Permit Details

Building Size & Style

TR-800 - 12' wide by 10' long

Paint Selection

Base: No Paint, Trim: No Paint

Roof Selection

Charcoal Dimensional Premium Shingle

Drip Edge

White

Is a permit required for this job?

Yes, Engineering fees still apply

Who is pulling the permit?

Customer

Optional Details

Doors

3' x 6'7" Double Shed Door (6')

Walls

362 Sq Ft House Wrap

Roof

137 Sq Ft Radiant Barrier Roof Decking

Floor and Foundation

120 Sq Ft 3/4" Treated Floor Decking Upgrade

Jobsite/Installer Details

Do you plan to insulate this building after Tuff Shed installs it?

Yes

Is there a power outlet within 100 feet of installation location?

Yes

The building location must be level to properly install the building. How level is the install location?

Within 4" of level

Will there be 18" of unobstructed workspace around the perimeter of all four walls?

Yes

Can the installers park their pickup truck & trailer within approximately 200' of your installation site?

Yes

Substrate Shed will be installed on?

Not Anchored to Concrete with Shed Floor



TO: Planning and Zoning Commission
FROM: Henry Lee, *Senior Planner*
DATE: August 15, 2023
SUBJECT: MIS2023-010; *Exception to the Fence Placement Requirements*

The applicant, Donald Strifler, is requesting the approval of an exception to the fence placement requirements for a side yard fence. The subject property is located on a 0.2392-acre parcel of land (*i.e. Lot 16, Block D, Preserve Phase 1 Addition*) addressed as 404 Bedford Falls Lane. The letter submit by the applicant indicates that they are requesting to construct an eight (8) foot solid cedar fence 15-feet past the front yard building setback (*i.e. the Front Yard Setback is 25-feet*). According

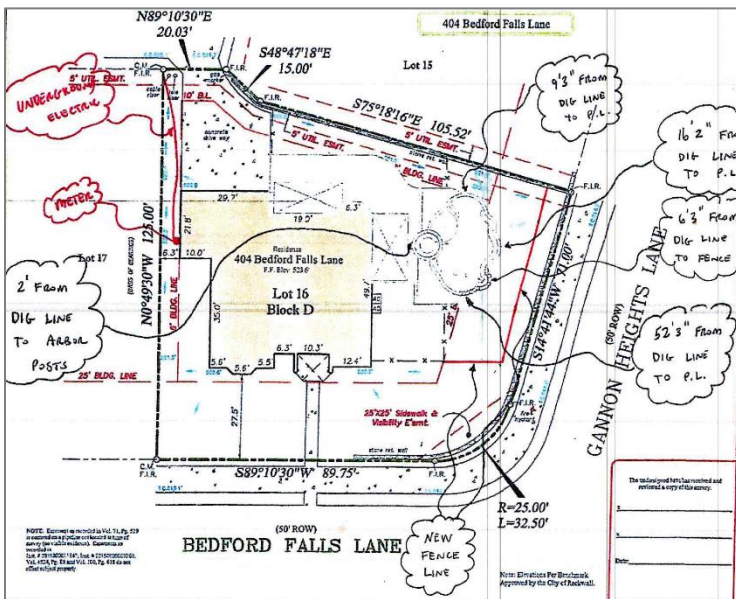


FIGURE 1: PROPOSED LOCATION OF SIDE YARD FENCE

to the applicant’s letter, this request is being made in order to facilitate the construction of a pool on the subject property. In addition, the applicant’s *Site Plan* shows how the side yard fence will encroach past the build line [see Figure 1].

According to Article 13, *Definitions*, of the Unified Development Code (UDC), a fence is defined as “(a)ny wall or structure of any material for which the purpose is to provide protection from intrusion, both physical and visual, to prevent escape, mark a boundary, enclose, screen, restrict access to, or decorate any lot, building, or structure.” In addition, the subject property is identified as a keystone lot (*i.e. a keystone lot is a corner lot that backs to the front yard of another lot*). Based on this, the side yard fence may not extend past the front yard setback of the home (*i.e. 651 Gannon Heights Lane*) directly behind the subject property. In this case, the applicant’s side yard fence is required to be setback a minimum of 25-

feet even with the front yard building setback of 651 Gannon Heights Lane.

The applicant’s request meets all other requirements for a residential fence outlined within the Unified Development Code (UDC). In addition, the proposed location is *not* within right-of-way or any public utility easements. Staff should also point out that there is at least four (4) other *keystone* properties (*i.e. 933 Gannon Heights Lane, 656 Mission Drive, 318 Cooper Court, and 768 Wildwood Lane*) in this phase of the Preserve Subdivision that have similar fence orientations. Based on this the applicant’s request would *not* create a precedence in the subdivision and *does not* appear to create a negative or adverse effect on any of the adjacent properties; however, fence placement exceptions are discretionary decisions for the Planning and Zoning Commission. Should the Planning and Zoning Commission have any questions concerning the applicant’s request, staff will be available at the meeting on August 15, 2023.



DEVELOPMENT APPLICATION

City of Rockwall
Planning and Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087

FOR USE ONLY

PLANNING & ZONING CASE NO. _____

NOTE: THE APPLICATION IS NOT CONSIDERED ACCEPTED BY THE CITY UNTIL THE PLANNING DIRECTOR AND CITY ENGINEER HAVE SIGNED BELOW.

DIRECTOR OF PLANNING: _____

CITY ENGINEER: _____

PLEASE CHECK THE APPROPRIATE BOX BELOW TO INDICATE THE TYPE OF DEVELOPMENT REQUEST [SELECT ONLY ONE BOX]:

PLATTING APPLICATION FEES:

- MASTER PLAT (\$100.00 + \$15.00 ACRE) ¹
- PRELIMINARY PLAT (\$200.00 + \$15.00 ACRE) ¹
- FINAL PLAT (\$300.00 + \$20.00 ACRE) ¹
- REPLAT (\$300.00 + \$20.00 ACRE) ¹
- AMENDING OR MINOR PLAT (\$150.00)
- PLAT REINSTATEMENT REQUEST (\$100.00)

SITE PLAN APPLICATION FEES:

- SITE PLAN (\$250.00 + \$20.00 ACRE) ¹
- AMENDED SITE PLAN/ELEVATIONS/LANDSCAPING PLAN (\$100.00)

ZONING APPLICATION FEES:

- ZONING CHANGE (\$200.00 + \$15.00 ACRE) ¹
- SPECIFIC USE PERMIT (\$200.00 + \$15.00 ACRE) ^{1 & 2}
- PD DEVELOPMENT PLANS (\$200.00 + \$15.00 ACRE) ¹

OTHER APPLICATION FEES:

- TREE REMOVAL (\$75.00)
- VARIANCE REQUEST/SPECIAL EXCEPTIONS (\$100.00) ²

NOTES:

¹: IN DETERMINING THE FEE, PLEASE USE THE EXACT ACREAGE WHEN MULTIPLYING BY THE PER ACRE AMOUNT. FOR REQUESTS ON LESS THAN ONE ACRE, ROUND UP TO ONE (1) ACRE.
²: A \$1,000.00 FEE WILL BE ADDED TO THE APPLICATION FEE FOR ANY REQUEST THAT INVOLVES CONSTRUCTION WITHOUT OR NOT IN COMPLIANCE TO AN APPROVED BUILDING PERMIT.

PROPERTY INFORMATION [PLEASE PRINT]

ADDRESS 404 Bedford Falls Lane, Rockwall TX 75087

SUBDIVISION The Preserve

LOT

16

BLOCK

D

GENERAL LOCATION _____

ZONING, SITE PLAN AND PLATTING INFORMATION [PLEASE PRINT]

CURRENT ZONING Residential

CURRENT USE Residential

PROPOSED ZONING Residential

PROPOSED USE Residential

ACREAGE 0.23

LOTS [CURRENT]

1

LOTS [PROPOSED]

1

SITE PLANS AND PLATS: BY CHECKING THIS BOX YOU ACKNOWLEDGE THAT DUE TO THE PASSAGE OF HB3167 THE CITY NO LONGER HAS FLEXIBILITY WITH REGARD TO ITS APPROVAL PROCESS, AND FAILURE TO ADDRESS ANY OF STAFF'S COMMENTS BY THE DATE PROVIDED ON THE DEVELOPMENT CALENDAR WILL RESULT IN THE DENIAL OF YOUR CASE.

OWNER/APPLICANT/AGENT INFORMATION [PLEASE PRINT/CHECK THE PRIMARY CONTACT/ORIGINAL SIGNATURES ARE REQUIRED]

OWNER Donald Strifler

APPLICANT _____

CONTACT PERSON _____

CONTACT PERSON _____

ADDRESS 404 Bedford Falls Lane

ADDRESS _____

CITY, STATE & ZIP Rockwall, TX, 75087

CITY, STATE & ZIP _____

PHONE (757) 788-1784

PHONE _____

E-MAIL TZCCVA@GMAIL.COM

E-MAIL _____

NOTARY VERIFICATION [REQUIRED]

BEFORE ME, THE UNDERSIGNED AUTHORITY, ON THIS DAY PERSONALLY APPEARED Donald Strifler [OWNER] THE UNDERSIGNED, WHO STATED THE INFORMATION ON THIS APPLICATION TO BE TRUE AND CERTIFIED THE FOLLOWING:

"I HEREBY CERTIFY THAT I AM THE OWNER FOR THE PURPOSE OF THIS APPLICATION; ALL INFORMATION SUBMITTED HEREIN IS TRUE AND CORRECT; AND THE APPLICATION FEE OF \$ 1000 TO COVER THE COST OF THIS APPLICATION, HAS BEEN PAID TO THE CITY OF ROCKWALL ON THIS THE 21 July 2023 DAY OF 20 BY SIGNING THIS APPLICATION, I AGREE THAT THE CITY OF ROCKWALL (I.E. "CITY") IS AUTHORIZED AND PERMITTED TO PROVIDE INFORMATION CONTAINED WITHIN THIS APPLICATION TO THE PUBLIC. THE CITY IS ALSO AUTHORIZED AND PERMITTED TO REPRODUCE ANY COPYRIGHTED INFORMATION SUBMITTED IN CONJUNCTION WITH THIS APPLICATION, IF SUCH REPRODUCTION IS ASSOCIATED OR IN RESPONSE TO A REQUEST FOR PUBLIC INFORMATION."

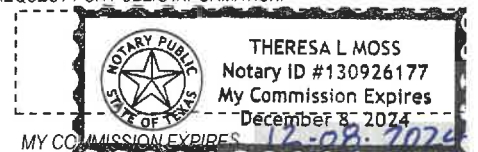
GIVEN UNDER MY HAND AND SEAL OF OFFICE ON THIS THE 21 DAY OF July, 2023

OWNER'S SIGNATURE

[Signature]

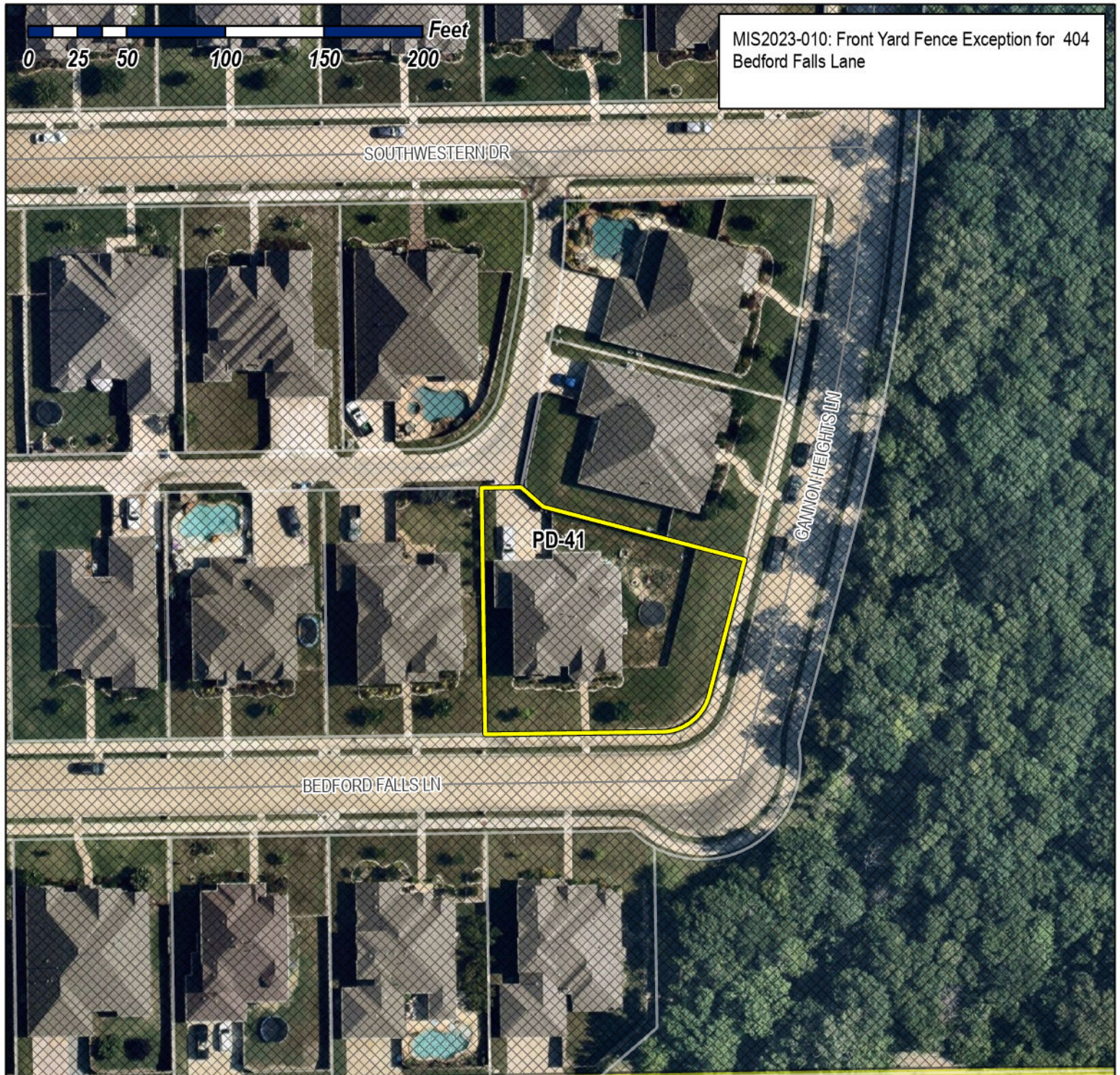
NOTARY PUBLIC IN AND FOR THE STATE OF TEXAS

[Signature]





MIS2023-010: Front Yard Fence Exception for 404 Bedford Falls Lane



Case Location Map =



City of Rockwall

Planning & Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087
(P): (972) 771-7745
(W): www.rockwall.com

The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.



7/21/2023

Rockwall Planning and Zoning,

Currently Pool Stop is working a permit for a fence update to my property at 404 Bedford Falls Lane in Rockwall in support of a pool installation that is planned to begin as soon as possible. My wife and I bought this property back in July of 2018. As we found out recently it is what is referred to as a Keystone Lot, where the property backs up to another property. Back when we bought the property we had the intention when our kids grew up to extend the back yard out to the retaining wall on our side yard and put in a pool. In 2018 when we bought the house we would have been permitted to move the fence out as our neighbor had done at 318 Cooper Drive in our subdivision in 2019.

In May of this year we began work with Pool Stop to design a pool that would allow for safe and easy access to the pool for my wife who is a disabled veteran with back problems that have resulted in numerous past and ongoing planned future surgeries. The only way to safely fit the entry way and build the pool was to move the fence out past the build line to make room for the pool and the decking. This allows my wife easy access via a gradual entry into the pool. The initial application submitted by Pool Stop was to extend the fence out to the sidewalk easement, which would be 25ft past the build line as I found out recently. Not knowing this was a change to the zoning/permitting for fences after 2019, we are not permitted to build the fence out past the build line to not obstruct view or to cause conflict and/or disagreement with neighbors.

In talking with the zoning team it was brought to my attention that there is an 8" water main in the sidewalk running parallel to the fence . So to make room for the 10ft easement for this water main, we are now asking to build to out 15ft beyond the build line leaving a by our measurement last night a 11.6ft easement for the water main. This fence is going to be an 8ft board on board cedar fence with a finished top and professional stained finish. This updated development application is requesting that we move the original design to this point where the fence does not obstruct view for traffic approaching the corner or for the neighbor behind our property and allows room for the required 10ft easement for the water main.

Attached you will find both the original design and the updated design. Also included are pictures of the area the fence is planned to go to provide a better understanding of what we are asking for. I appreciate the time you have all taken to read this letter, as well as the time reviewing this request for variance.

Thank you,

Donald and Sherri Strifler





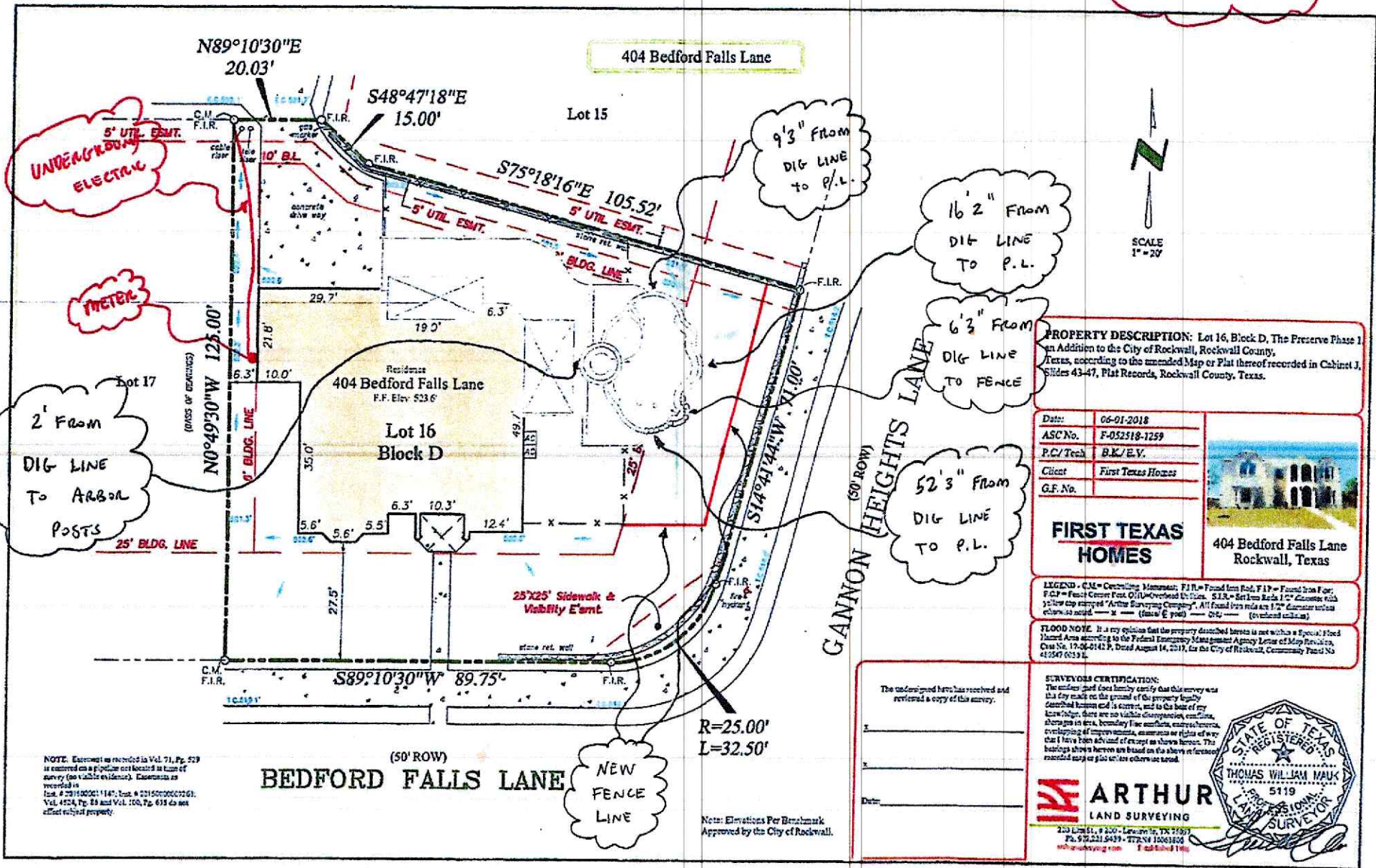
11.6 FT
Easement Access

8" Water Main

Property
Fence Line



811 #
236-645-8869



PROPERTY DESCRIPTION: Lot 16, Block D, The Preserve Phase I an Addition to the City of Rockwall, Rockwall County, Texas, according to the amended Map or Plat thereof recorded in Cabinet J, Blkds 43-47, Plat Records, Rockwall County, Texas.

Date:	06-01-2018
ASC No.	F-052518-1259
P.C./Tech	B.K./E.V.
Client	First Texas Homes
G.F. No.	



404 Bedford Falls Lane
Rockwall, Texas

FIRST TEXAS HOMES

LEGEND: C.M. = Centering Monument; F.I.R. = Found Iron Rod; F.I.P. = Found Iron Pipe; F.C.B. = Found Cast Iron Bolt; O.D. = Overhead Utility Line; S.I.R. = Set Iron Rods 1/2" Diameter with yellow cap stamped "Arthur Surveying Company"; A.V. = Found Iron rods on 1/2" diameter section colors as noted; X = (Iron E post); O.S. = (Overhead cables).

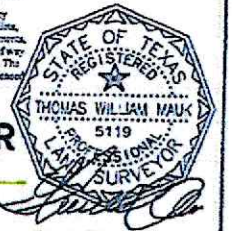
FLOOD NOTE: It is my opinion that the property described herein is not within a Special Flood Hazard Area according to the Federal Emergency Management Agency Letter of Map Revision, Case No. 17-06-0142 P, Dated August 14, 2017, for the City of Rockwall, Community Flood No. 413547 6039.

The undersigned here has received and reviewed a copy of the survey.

Date: _____

SURVEYOR'S CERTIFICATION:
The survey shall first hereby certify that this survey was the day made on the ground of the property hereby described herein and is correct, and to the best of my knowledge, there are no visible discrepancies, conflicts, overlaps or omissions, boundary line encroachments, overlapping of improvements, easements or rights of way that I have been advised of except as shown herein. The bearings shown herein are based on the above referenced recorded maps or plat unless otherwise noted.

ARTHUR LAND SURVEYING
230 Elm St., # 200 - Lewisville, TX 75057
Ph: 972.221.9479 - TTY: 972.10061803
www.arthursurvey.com



NOTE: Easements as recorded in Vol. 71, Pg. 529 is considered one as a pipeline or located in line of survey (no visible evidence). Easements as recorded in Iss. # 201500001140; Iss. # 20150000002001; Vol. 4724, Pg. 24 and Vol. 100, Pg. 639 do not affect subject property.

(50' ROW)
BEDFORD FALLS LANE

NEW FENCE LINE

Note: Elevations Per Benchmark Approved by the City of Rockwall.



Standard excavation equipment

811 # 236-645-8869

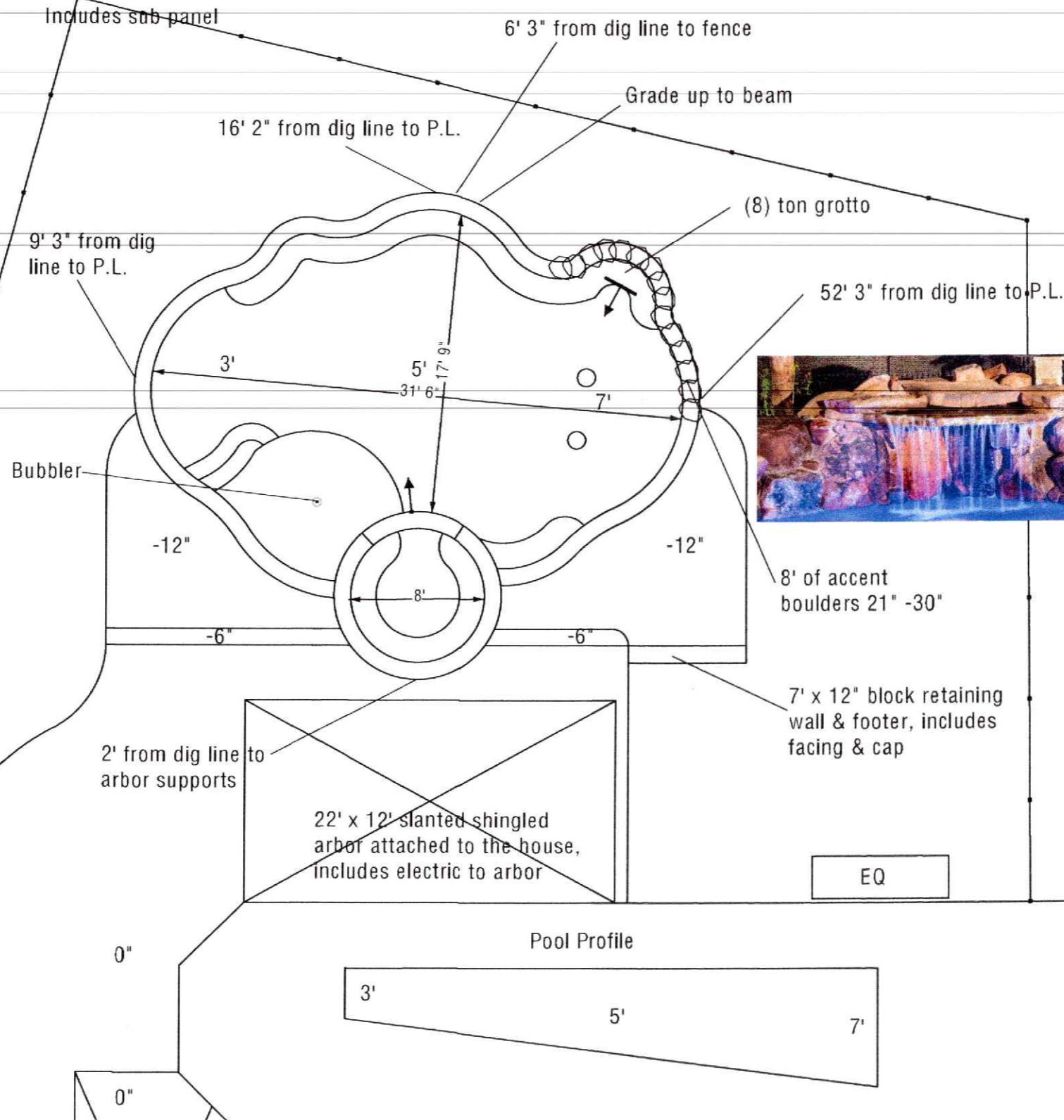
Includes soil injections in the pool area only

Includes (1) outlet for the Dolphin

Revised 7/21: revised fence location



Includes sub-panel



Oklahoma Flagstone Random Veneer



I have reviewed and approve the location of the pool, EQ, lights, skimmers, umbrella or volleyball sleeves, step in spa if needed, Dolphin outlet and access marked at layout meeting.

X

Customer Signature

Date

POOL SPECS

SIZE: 31' 6" x 17' 9"	SOFT: 507'
DEPTH: 3' - 5' - 7'	PERIMETER: 87'
EST TOTAL GALLONS: 19,015	SKIMMERS: 2
RETURNS: 5	INTERIOR MATERIAL: S.S. Tahoe Blue
STEEL: #4 - 5" & 10" O.C.	TILE: AY-621
COPING: Oklahoma Flagstone	

SPA SPECS

SIZE: 8'	SOFT: 50'
DEPTH: 3'	PERIMETER: 25'
EST TOTAL GALLONS:	SPILLWAY: Confirm with customer
RAISED HEIGHT: See notes	SKIMMERS:
RETURNS: (6) Spa jets	TILE: AY-621
INTERIOR MATERIAL: Stone Scapes Tahoe Blue	
SPECIAL: Verify if customer would like an entry step	
NOTES:	

PLUMBING

RETURNS: 5	SKIMMERS: 2
POOL MAIN DRAINS: 4	SPA MAIN DRAINS: 2
CLEANING SYSTEM: Dolphin Active 20	HEADS:
GAS FOOTAGE: 120' Allowance	P-TRAP: N/A
WATER FEATURES: Bubbler on the T.L.	SPA SPILLWAY: Confirm with customer
LIGHTS IN POOL: (1) LED & (2) Microbrites	LIGHTS IN SPA: (1) LED
TOTAL PIPE:	
SPECIAL: Includes 100 watt transformer	
NOTES:	

DECK

DECK TYPE: Brushed concrete	ELEVATION: See notes
TOTAL DECK SOFT: 1,146'	DRAINAGE: 100'
TURNDOWN: 62"	DOWNSPOUTS: Included
AREA DRAINS: 8	SEAL: N/A
SPECIAL: Includes 46' of steps	
NOTES:	

EQUIPMENT

POOL PUMP: Standard 3HP VS	2ND PUMP: Standard 3HP VS
FILTRATION: Pentair Clean & Clear Plus	FILTER SIZE: 420
HEATER: Pentair Mastertemp 400K (NG)	INLINE: Rainbow 320
TIMER: Pentair Easytouch	GAS: 120' Allowance
SPECIAL:	
NOTES:	

Pool Stop Custom Pools

Customer Name: Strifler
 Address: 404 Bedford Falls Ln
 City: Rockwall
 State/Zip: TX, 75087
 Phone: _____
 Cell: Donald - 757-788-1784
 Email: tzccva@gmail.com
 Alternate Contact: _____
 Sales: Thomas

Scale: 1/8" = 1 ft



CITY OF ROCKWALL
PLANNING AND ZONING COMMISSION CASE MEMO

PLANNING AND ZONING DEPARTMENT
385 S. GOLIAD STREET • ROCKWALL, TX 75087
PHONE: (972) 771-7745 • EMAIL: PLANNING@ROCKWALL.COM

TO: Planning and Zoning Commission
DATE: August 15, 2023
APPLICANT: Hind Saad; RSG Engineering
CASE NUMBER: SP2023-022; *Site Plan for 1760 Airport Road*

SUMMARY

Discuss and consider a request by Hind Saad of RSG Engineering on behalf of Roy Bhavi of FlexSpace Business Parks, LLC for the approval of a Site Plan for a *warehouse/office* development on a 6.17-acre tract of land identified as Tract 2-01 of the D. Harr. Survey, Abstract No. 102, City of Rockwall, Rockwall County, Texas, zoned Light Industrial (LI) District, situated within the Airport Overlay (AP OV) District, addressed as 1760 Airport Road, and take any action necessary.

BACKGROUND

The subject property was annexed by the City Council on March 16, 1998 by *Ordinance No. 98-10 [Case No. A1998-001]*. The subject property has been vacant since annexation. On April 3, 2023, the City Council approved a Zoning Change [*Case No. Z2023-010*] from Agriculture (AG) District to Light Industrial (LI) District for the subject property.

PURPOSE

On July 14, 2023, the applicant -- *Hind Saad* -- submitted an application requesting the approval of a Site Plan for seven (7) *warehouse/office* buildings.

ADJACENT LAND USES AND ACCESS

The subject property is generally located on the south side of Airport Road, east of the intersection of Airport Road and John King Boulevard. The land uses adjacent to the subject property are as follows:

North: Directly north of the subject property is Airport Road, which is identified as a M4U (*i.e. major collector, four [4] lane, undivided roadway*) on the City's Master Thoroughfare Plan contained in the OURHometown Vision 2040 Comprehensive Plan. North of Airport Road is: [1] a 5.68-acre tract of vacant land (*i.e. Tract 21 of the D. Harr Survey, Abstract No. 102*); [2] a one (1) acre tract of land (*i.e. Tract 21-01 of the D. Harr Survey, Abstract No. 102*) with a single-family home situated on it; [3] a 12.00-acre tract of vacant land; and [4] a 43.66-acre tract of land with a single-family home situated on it. All of these properties are zoned Agricultural (AG) District. Beyond this is SH-66, which is identified as a *TXDOT4D (i.e. a Texas Department of Transportation [TXDOT], four [4] lane, divided roadway*) on the City's Master Thoroughfare Plan contained in the OURHometown Vision 2040 Comprehensive Plan.

South: Directly south of the subject property is the right-of-way for the *Union Pacific Dallas/Garland Northeast Railroad*. Beyond this is a vacant 4.114-acre tract of land (*i.e. which is part of a larger 10.291-acre tract of land and is identified as Tract 2-9, of the D Harr. Survey, Abstract No. 102*). Beyond this is a vacant two (2) acre tract of land (*i.e. Tract 2-5, of the D. Harr Survey, Abstract 102*). Both of these properties are zoned Agricultural (AG) District. Beyond that is an 18.5175-acre vacant tract of land (*i.e. Tract 3-5, of the J Lockhart Survey, Abstract 134*) zoned Light Industrial (LI) District and Commercial (C) District.

East: Directly east of the subject property is a 5.477-acre vacant tract of land (i.e. *Tract 2 of the D. Harr Survey, Abstract No. 102*), zoned Agricultural (AG) District. East of this is a 16.89-acre tract of land (i.e. *Tract 4 of the D.Harr Survey, Abstract No. 102*), which was rezoned to Light Industrial (LI) District in 2021. A site plan was approved for this property in 2021 allowing a *warehouse/distribution center* to be constructed on it.

West: Directly west of the subject property is a 5.784-acre tract of vacant land (i.e. *Tract 2-03 of the D. Harr Survey, Abstract No. 102*), which is zoned Agriculture (AG) District. West of this is a vacant 5.07-acre tract of vacant land (i.e. *Tract 2-06 of the D. Harr Survey, Abstract No. 34*) also zoned Agricultural (AG) District. Beyond this is S. John King Boulevard, which is identified as a *P6D (i.e. a principal arterial, six [6] lane, divided roadway)* on the City’s Master Thoroughfare Plan contained in the OURHometown Vision 2040 Comprehensive Plan.

DENSITY AND DIMENSIONAL REQUIREMENTS

According to Section 01, *Land Use Schedule*, of Article 04, *Permissible Uses*, of the Unified Development Code (UDC), a *Warehouse/Distribution Center* and an *Office Building 5,000 SF or Greater* are permitted *by-right* land uses in a Light Industrial (LI) District. The submitted site plan, landscape plan, photometric plan, building elevations, and phasing plan generally conform to the technical requirements contained within the Unified Development Code (UDC) for a property located within a Light Industrial (LI) District with the exception of the items noted in the *Variances and Exceptions Requested by the Applicant* section of this case memo. A summary of the density and dimensional requirements for the subject property are as follows:

<i>Ordinance Provisions</i>	<i>Zoning District Standards</i>	<i>Conformance to the Standards</i>
<i>Minimum Lot Area</i>	12,500 SF	X=6.18-Acres; In Conformance
<i>Minimum Lot Frontage</i>	100-Feet	X= 332-Feet; In Conformance
<i>Minimum Lot Depth</i>	125-Feet	X=729-Feet; In Conformance
<i>Minimum Front Yard Setback</i>	25-Feet	X>25-Feet; In Conformance
<i>Minimum Rear Yard Setback</i>	10-Feet	X>10-Feet; In Conformance
<i>Minimum Side Yard Setback</i>	10-Feet	X>10-Feet; In Conformance
<i>Maximum Building Height</i>	60-Feet	X=27-Feet; In Conformance
<i>Max Building/Lot Coverage</i>	60%	X=31.6%; In Conformance
<i>Minimum Number of Parking Spaces</i>	1 Parking Space per 300 SF for Office and 1 Parking Space per 1,000 SF for Warehouse (109 Total Required)	X=110; In Conformance
<i>Minimum Landscaping Percentage</i>	15%	X=15.3%; In Conformance
<i>Maximum Impervious Coverage</i>	90-95%	X=76.46%; In Conformance

TREESCAPE PLAN

No trees are being removed from the subject property. Based on this, no *Treescape Plan* is required.

CONFORMANCE WITH THE CITY’S CODES

The applicant is requesting to construct seven (7) *warehouse/office buildings* on the subject property. According to Subsection 02.02(J)(7), *Wholesale, Distribution and Storage Land Uses*, of Article 13, *Definitions*, of the Unified Development Code (UDC), a *Warehouse/Distribution Center* is defined as a “... building used primarily for the storage and distribution of goods, merchandise, supplies, and equipment including wholesalers which display, sell, and distribute merchandise to business representatives for resale ...” In addition, Subsection 02.02(D)(2), *Office and Professional Uses*, of Article 13, *Definitions*, of the Unified Development Code (UDC), an *Office Building* is defined as a “...(a) facility that provides executive, management, administrative, or professional services ... but not involving the sale of merchandise except as incidental to a permitted use. Typical examples include real estate, insurance, property management, investment, employment, travel, advertising, law, architecture, design, engineering, accounting, call centers, and similar offices.” In this case, the applicant’s request for seven (7) *warehouse/office buildings* is permitted *by-right* in a Light Industrial (LI) District as stipulated by Section 01, *Land Use Schedule*, of Article 04, *Permissible Uses*, of the Unified Development Code (UDC).

The proposed site plan generally conforms to the requirements of the *General Industrial District Standards* as stipulated by Article 05, *District Development Standards*, of the Unified Development Code (UDC), with the exception of the exceptions being requested as outlined in the *Variations and Exceptions Requested by the Applicant* section of this case memo.

VARIANCES AND EXCEPTIONS BY THE APPLICANT

Staff has identified the following exceptions:

(1) *Building Materials*.

- (a) *Stone*. According to Subsection 05.01 (A)(1), *Materials and Masonry Composition*, of Article 05, *District Development Standards*, of the Unified Development Code (UDC), a "...minimum of 20% stone (*i.e. natural or synthetic/cultured*) is required on all building façades." In this case, the applicant is proposing 20% stone on all buildings except for the rear elevations of buildings 2-7. This will require an exception from the Planning and Zoning Commission.
- (b) *Primary Materials*. According to Subsection 05.01 (A)(1), *Materials and Masonry Composition*, of Article 05, *District Development Standards*, of the Unified Development Code (UDC), "(e)ach exterior wall of a building's façade shall consist of a minimum of 90% Primary Materials..." or masonry material. The applicant is proposing mostly metal buildings. This will require an exception from the Planning and Zoning Commission.

(2) *Building Articulation*.

- (a) *Primary Building Facades*. According to Subsection 05.01 (C), *Building Articulation*, of Article 05, *District Development Standards*, of the Unified Development Code (UDC), the minimum wall length shall not exceed four (4) times the wall height. In this case, the proposed buildings do not meet the projection requirements for primary building facades on all buildings. This will require an exception from the Planning and Zoning Commission pending a recommendation from the Architectural Review Board (ARB).
- (b) *Secondary Building Facades*. According to Subsection 05.01 (C), *Building Articulation*, of Article 05, *District Development Standards*, of the Unified Development Code (UDC), the minimum wall length shall not exceed three (3) times the wall height. In this case, the proposed buildings do not meet the projection requirements for secondary building facades on all buildings. This will require an exception from the Planning and Zoning Commission pending a recommendation from the Architectural Review Board (ARB).

- (3) *Residential Screening Standards*. According to Subsection 05.02, *Landscape Screening*, of Article 08, *Landscape and Fence Standards*, of the Unified Development Code (UDC), "(a)ny non-residential or multi-family land use or parking area that has a side or rear contiguous to any residentially zoned or used property shall be screened with a masonry fence a minimum of six (6) feet in height with canopy trees planted on 20-foot centers." As an alternative the code does allow the Planning and Zoning Commission to consider the use of three (3) tiered landscaping along the adjacency. In this case, the applicant is providing three (3) tiered landscaping along the adjacency except for the area within the FAA restricted area. While this does not meet the requirements, the code does allow the Planning and Zoning Commission to grant an exception to the screening requirements.

According to Subsection 09, *Exceptions and Variances*, of Article 11, *Development Applications and Review Procedures*, of the Unified Development Code (UDC), "...an applicant may request the Planning and Zoning Commission grant variances and exceptions to the provisions contained in the Unified Development Code (UDC), where unique or extraordinary conditions exist or where strict adherence to the technical requirements of the Unified Development Code (UDC) would create an undue hardship." In addition, the code requires that the applicant provide compensatory measures that directly offset the requested variances and exceptions. The applicant has indicated the following as compensatory measures: [1] plant an additional two (2) canopy trees along the east property line behind *Buildings 2 & 3*, [2] plant three (3) additional canopy trees and two (2) additional accent trees on the north side to screen the sides of *Buildings 2, 4, & 7*, [3] increasing the canopy tree caliper inch from four (4) caliper inches to five (5) caliper inches for the three (3) tiered screening areas, [4] adding a bench on the west side of *Building 1* along the landscape detention pond, [5] providing more than the required landscaping [*i.e. they are required 15.00% and are providing 15.36% or 0.36% more than required*], and [6] providing canopy trees on 40-foot centers along the

south property line. Staff should point out that they are not providing the required number of compensatory measures and that the additional landscaping being provided is nominal compared to the required landscaping percentage. In addition, the bench does not appear to directly off-set any of the requested variances; however, requests for exceptions and variances to the Unified Development Code (UDC) are discretionary decisions for the Planning and Zoning Commission. Staff should note that a supermajority vote (e.g. six [6] out of the seven [7] commissioners) -- with a minimum of four (4) votes in the affirmative - is required for the approval of a variance or exception.

CONFORMANCE WITH OURHOMETOWN VISION 2040 COMPREHENSIVE PLAN

The Future Land Use Plan adopted with the OURHometown Vision 2040 Comprehensive Plan identifies the subject property as being situated in the Central District. The Central District "... is composed of a wide range of land uses that vary from single-family to industrial." In addition, the Central District "... incorporates a high volume of industrial land uses adjacent to the *Union Pacific/Dallas Garland and Northeastern Rail Road* line that bisects the district -- and *City* -- in an east/west direction." The Future Land Use Map contained in the OURHometown Vision 2040 Comprehensive Plan, indicates that the subject property should be developed with industrial land uses. In this case, the applicant is proposing a *Warehouse/Distribution Center* and *Offices*. Based on this, the applicant's land uses appear to conform with the Comprehensive Plan; however, Chapter 9, *Non-Residential*, of the OURHometown Vision 2040 Comprehensive Plan states as one of the goals of commercial building design, buildings should be "... designed and constructed in unity with the community's existing commercial and residential buildings, and should incorporate high quality materials that will minimize the need for maintenance over time." The polices to implement this goal are "... [1] (n)on-residential buildings should be constructed of masonry materials and contain a minimum of 20% stone on every façade that faces a street, public open space, trail or park. [and] [2] Non-residential buildings should be architecturally finished on all four (4) sides with the same materials, detailing and features." In this case, the applicant is requesting exceptions to building materials and building articulation requirements. These exceptions appear to conflict with the goals for non-residential buildings contained in the Comprehensive Plan. Staff should point out that a similar land use was approved on a property directly east of the subject property, which was required to meet the material requirements of the Light Industrial (LI) District, and which are called for in the Comprehensive Plan. Furthermore, the John King Boulevard Corridor Plan contained in the OURHometown Vision 2040 Comprehensive Plan, states that one of the guiding concepts of the plan is *Quality and Timelessness*. The plan goes on to state that "(t)he design forms for John King Boulevard should be rooted in Rockwall's strong landscape and heritage, while coexisting comfortably with new development, never looking 'dated.' High quality of materials and construction should be a defining characteristic of new enhancement projects." In this case, the applicant is requesting buildings that incorporate a majority of metal with some stone accents. These buildings will be highly visible from John King Boulevard, and do not appear to meet the intent of this corridor plan. Based on this the applicant's proposal does not appear to meet the vision of the Comprehensive Plan.

STAFF ANALYSIS

The phasing plan provided by the applicant shows *Building 7* being built in the first phase; *Buildings 4, 5, & 6* in the second phase; and *Building 1* in the final and third phase. Staff has recommended to the applicant to provide *Building 1* in the first phase as it is the building that most conforms to the Light Industrial (LI) District standards, and will provide the necessary screening for the loading docks of the remaining buildings from Airport road. Staff also recommended that the applicant remove the loading docks on *Buildings 6 & 7* -- or *redesign the building layout* -- so that these overhead doors are properly screened from John King Boulevard (*which is a major thoroughfare in the City*). Staff also recommended that the applicant meet the minimum material requirements on *Buildings 1, 6, & 7* as these buildings will be the most visible from the adjacent public rights-of-way and will provide screening of the internal buildings, which do not meet the material and architectural requirements of the Unified Development Code (UDC). The applicant has chosen NOT to incorporate any of staff's suggestions in the final submittal and is requesting five (5) variances and exceptions while only providing six (6) out of the ten (10) required compensatory measures. As a result, staff has included a *Condition of Approval* requiring that the Phasing Plan start with *Building 1*. With this being said, requests for exceptions and variances to the Unified Development Code (UDC) are discretionary decisions for the Planning and Zoning Commission.

ADENDUM: AUGUST 10, 2023

The applicant has provided staff with a new phasing plan that starts with *Building 1* which is included in the packet.

ARCHITECTURAL REVIEW BOARD (ARB) RECOMMENDATION

On July 25, 2023, the Architecture Review Board reviewed the proposed building elevations provided by the applicant on July 14, 2023 and recommended that the applicant conform closer to the Light Industrial standards of the UDC, provide parapets on all four sides, and provide samples of the stone proposed. The applicant has provided updated elevations that will be reviewed by the Architectural Review Board (ARB) prior to the August 15, 2023 Planning and Zoning Commission meeting.

CONDITIONS OF APPROVAL

If the Planning and Zoning Commission chooses to approve the applicant's Site Plan for the establishment of a *retail shopping center* and *house of worship* on the *subject property*, then staff would propose the following conditions of approval:

- (1) All staff comments provided by the Planning, Engineering and Fire Department must be addressed prior to the submittal of engineering plans.
- (2) The applicant provide staff with a new phasing plan that starts with *Building 1* prior to the submittal of engineering plans.
- (3) Any construction resulting from the approval of this Site Plan shall conform to the requirements set forth by the Unified Development Code (UDC), the International Building Code (IBC), the Rockwall Municipal Code of Ordinances, city adopted engineering and fire codes and with all other applicable regulatory requirements administered and/or enforced by the state and federal government



DEVELOPMENT APPLICATION

City of Rockwall
Planning and Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087

STAFF USE ONLY
PLANNING & ZONING CASE NO.

NOTE: THE APPLICATION IS NOT CONSIDERED ACCEPTED BY THE CITY UNTIL THE PLANNING DIRECTOR AND CITY ENGINEER HAVE SIGNED BELOW.

DIRECTOR OF PLANNING:
CITY ENGINEER:

PLEASE CHECK THE APPROPRIATE BOX BELOW TO INDICATE THE TYPE OF DEVELOPMENT REQUEST [SELECT ONLY ONE BOX]:

PLATTING APPLICATION FEES:

- MASTER PLAT (\$100.00 + \$15.00 ACRE) ¹
- PRELIMINARY PLAT (\$200.00 + \$15.00 ACRE) ¹
- FINAL PLAT (\$300.00 + \$20.00 ACRE) ¹
- REPLAT (\$300.00 + \$20.00 ACRE) ¹
- AMENDING OR MINOR PLAT (\$150.00)
- PLAT REINSTATEMENT REQUEST (\$100.00)

SITE PLAN APPLICATION FEES:

- SITE PLAN (\$250.00 + \$20.00 ACRE) ¹
- AMENDED SITE PLAN/ELEVATIONS/LANDSCAPING PLAN (\$100.00)

ZONING APPLICATION FEES:

- ZONING CHANGE (\$200.00 + \$15.00 ACRE) ¹
- SPECIFIC USE PERMIT (\$200.00 + \$15.00 ACRE) ^{1 & 2}
- PD DEVELOPMENT PLANS (\$200.00 + \$15.00 ACRE) ¹

OTHER APPLICATION FEES:

- TREE REMOVAL (\$75.00)
- VARIANCE REQUEST/SPECIAL EXCEPTIONS (\$100.00) ²

NOTES:

¹: IN DETERMINING THE FEE, PLEASE USE THE EXACT ACREAGE WHEN MULTIPLYING BY THE PER ACRE AMOUNT. FOR REQUESTS ON LESS THAN ONE ACRE, ROUND UP TO ONE (1) ACRE.
²: A **\$1,000.00** FEE WILL BE ADDED TO THE APPLICATION FEE FOR ANY REQUEST THAT INVOLVES CONSTRUCTION WITHOUT OR NOT IN COMPLIANCE TO AN APPROVED BUILDING PERMIT.

PROPERTY INFORMATION [PLEASE PRINT]

ADDRESS 1760 Airport rd, Rockwall, TX 75087

SUBDIVISION A102, D Harr, Tract 2-01

LOT

BLOCK

GENERAL LOCATION

ZONING, SITE PLAN AND PLATTING INFORMATION [PLEASE PRINT]

CURRENT ZONING Light Industrial

CURRENT USE Vacant

PROPOSED ZONING

PROPOSED USE Light industrial

ACREAGE 6.18

LOTS [CURRENT]

1

LOTS [PROPOSED]

SITE PLANS AND PLATS: BY CHECKING THIS BOX YOU ACKNOWLEDGE THAT DUE TO THE PASSAGE OF HB3167 THE CITY NO LONGER HAS FLEXIBILITY WITH REGARD TO ITS APPROVAL PROCESS, AND FAILURE TO ADDRESS ANY OF STAFF'S COMMENTS BY THE DATE PROVIDED ON THE DEVELOPMENT CALENDAR WILL RESULT IN THE DENIAL OF YOUR CASE.

OWNER/APPLICANT/AGENT INFORMATION [PLEASE PRINT/CHECK THE PRIMARY CONTACT/ORIGINAL SIGNATURES ARE REQUIRED]

OWNER FlexSpace Business Parks LLC

APPLICANT RSG ENGINEERING

CONTACT PERSON Roy Bhavi

CONTACT PERSON HIND SAAD

ADDRESS 835 Tillman Dr,

ADDRESS 13501 KATY FREEWAY, STE. 3180

CITY, STATE & ZIP Allen TX 75013

CITY, STATE & ZIP Houston, TX 77041

PHONE 972.674.8933

PHONE 281- 248- 6785

E-MAIL roy.bhavi@flexspacebusinessparks.co

E-MAIL hind@rsgcompanies.com

NOTARY VERIFICATION [REQUIRED]

BEFORE ME, THE UNDERSIGNED AUTHORITY, ON THIS DAY PERSONALLY APPEARED Deepak Bhavi [OWNER] THE UNDERSIGNED, WHO STATED THE INFORMATION ON THIS APPLICATION TO BE TRUE AND CERTIFIED THE FOLLOWING:

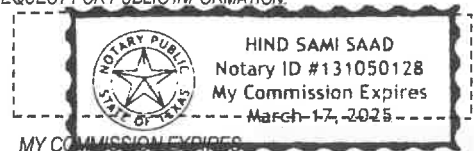
"I HEREBY CERTIFY THAT I AM THE OWNER FOR THE PURPOSE OF THIS APPLICATION; ALL INFORMATION SUBMITTED HEREIN IS TRUE AND CORRECT; AND THE APPLICATION FEE OF \$ 5370 TO COVER THE COST OF THIS APPLICATION, HAS BEEN PAID TO THE CITY OF ROCKWALL ON THIS THE 30th DAY OF June, 2023. BY SIGNING THIS APPLICATION, I AGREE THAT THE CITY OF ROCKWALL (I.E. "CITY") IS AUTHORIZED AND PERMITTED TO PROVIDE INFORMATION CONTAINED WITHIN THIS APPLICATION TO THE PUBLIC. THE CITY IS ALSO AUTHORIZED AND PERMITTED TO REPRODUCE ANY COPYRIGHTED INFORMATION SUBMITTED IN CONJUNCTION WITH THIS APPLICATION, IF SUCH REPRODUCTION IS ASSOCIATED OR IN RESPONSE TO A REQUEST FOR PUBLIC INFORMATION."

GIVEN UNDER MY HAND AND SEAL OF OFFICE ON THIS THE 30th DAY OF June, 2023


OWNER'S SIGNATURE

[Signature]

NOTARY PUBLIC IN AND FOR THE STATE OF TEXAS





Case Location Map = 



City of Rockwall

Planning & Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087
(P): (972) 771-7745
(W): www.rockwall.com

The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.





750 Interstate 30
Suite 110
Rockwall, TX 75087
t: 972-732-6085
f: 972-732-8058

August 8, 2023

Mr. Ryan Miller
City of Rockwall Director of Planning
City Hall 385 S. Goliad
Rockwall, TX 75087

Re: SP2023-022 Exceptions/ Variances Requested
Flex Office/ Warehouse Development
1760 Airport Road
Rockwall, TX. 75087

Mr. Miller,

This letter serves as a Request for Exceptions/ Variances to the UDC.

- 1) Primary Articulation standards. UDC subsection 04.01 C1. of article 5.
- 2) Secondary Articulation standards. UDC subsection 04.01 C2. of article 5.
- 3) 90% Masonry material. UDC subsection 05.01. A. 1. (a) of article 05.
- 4) 20% Stone on all 4 sides. UDC subsection 06.02. C of article 05.
- 5) Screening of Loading Docks. UDC subsection 05.02(A). of article 08.

1, 2) Primary and Secondary Articulation Variance. We have created a version of vertical articulation with a stair step pattern across the top parapets of the front and side façades which provides a visual line break. These industrial buildings do not give room to articulate the horizontal floor plan. We are providing covered awnings at each entry point.

- 3) 90% Masonry Material Variance. We are requesting a variance to replace 90% masonry material with a metal siding as identified on the building elevations provided. We are using two colors of metal to give the elevations movement.
- 4) 20% Stone Material Variance. We are requesting a variance to adjust the 20% stone requirement on the rear of buildings 2 – 7. We want to provide more stone on 3 sides of the building elevations which are much more visible. The rear of buildings 2 – 3 are seen from the east view, and buildings 4 – 7 back up to each other and will not be seen.

- 5) Screening of Loading Docks Variance. This is for buildings 6 – 7 overhead doors which face John King Blvd. We are providing 3 tier screening along the west property line up to the FAA zone. We are providing shrubs along the FAA property line which will grow tall and upgrading the canopy trees at the overhead doors on building 7 to 5” caliper.

The (ARB) Architectural Review Board meeting was held 7-25-2023. The ARB requested that all these buildings needed to have parapets on all four sides of the buildings. We are proposing to provide parapets walls on four sides of building 1, and three sides of buildings 2 – 7 with a parapet return on the back sides as shown. These structures back up to each other and will not be seen from the rear with the 10’-0” parapet returns.

(10) Compensatory items provided for this development.

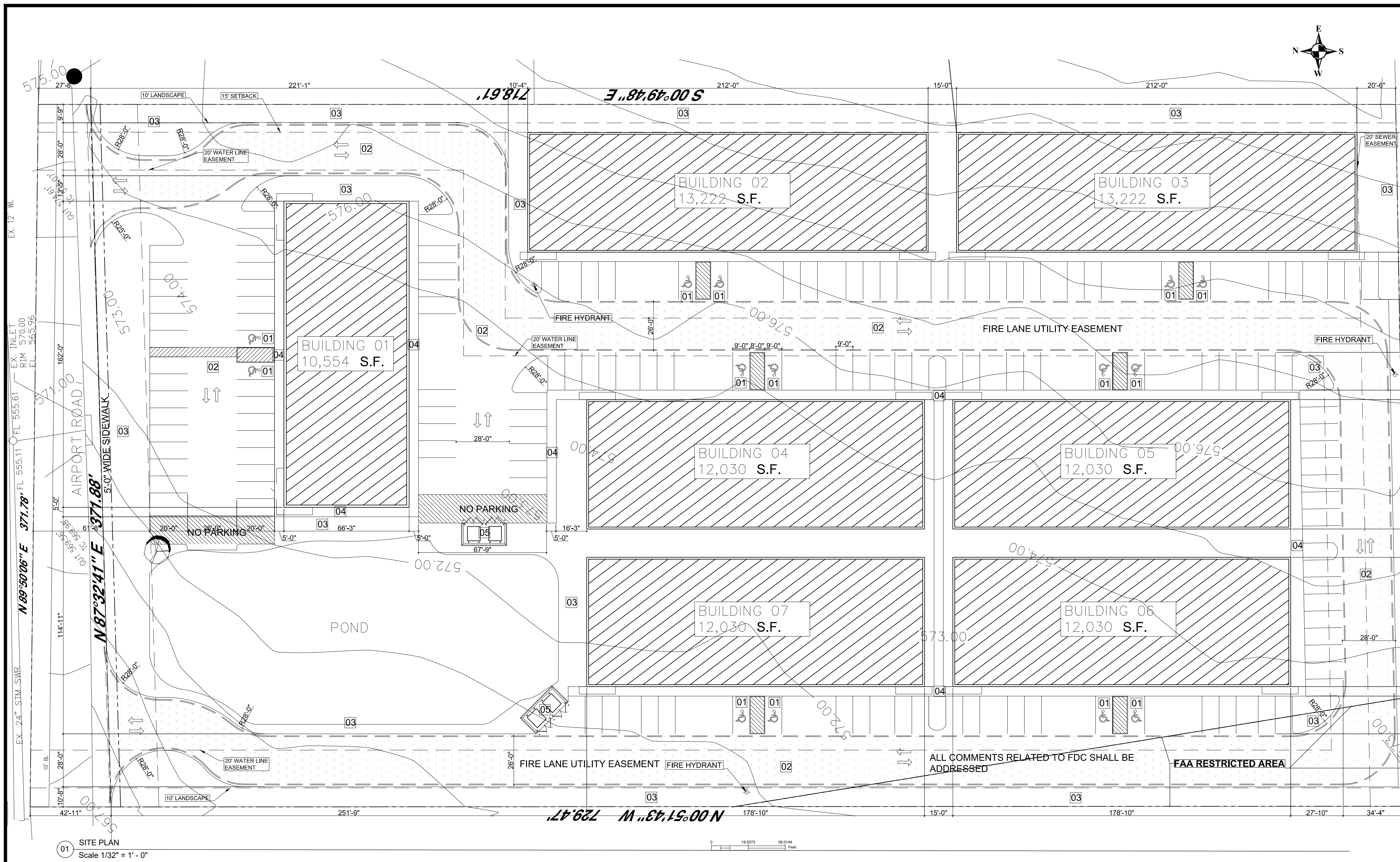
- 1) (2) = We are providing 2 canopy trees along the east property line behind buildings 2, 3.
- 2) (3) = We are providing 3 canopy trees and 2 accent trees on the north side to screen the sides of buildings 2, 4, 7.
- 3) (1) = We are providing 3 tier screening along the west property line from Airport Road to the FAA line. We are continuing the screening along the west property line to provide additional screening of the loading dock area with taller shrubs in the FAA Zone.
- 4) (1) = We are providing to upgrade the canopy trees in the 3-tier screening along the west property line from 4” to 5” trees.
- 5) (1) = We are providing a decorative bench west of building 1 along the landscape detention pond.
- 6) (1) = We are providing more landscaping than required by 1,000 SF.
- 7) (1) = We are providing a row of canopy trees along the Railroad south property line.

Thank you for your consideration and reviewing our request. We can adjust the actual location of these trees per your recommendations.

Sincerely,



Jeffrey Carroll
Carroll Architects, Inc.
President / CEO



ADA & TAS

FOR ADA AND TAS REQUIREMENTS SEE THE SHEETS NUMBER G 2.1, G 2.2, G 2.3 & G 2.4.
FOR GRADING AND ACCESSIBLE ROUTE RE: CIVIL

FIRE LANE NOTES

- CURBS LOCATED BETWEEN APPROVED FIRE LANE - TOW-AWAY ZONE SIGNS SHALL BE PAINTED RED OR A RED STRIPE SHALL BE PLACED ALONG THE PAVEMENT WHERE THERE IS NO CURB. THESE CURBS SHALL ALSO BE CONSPICUOUSLY AND LEGIBLY MARKED WITH THE WARNING "FIRE LANE - TOW AWAY ZONE" IN WHITE LETTERS AT LEAST THREE (3) INCHES IN HEIGHT, AT INTERVALS NOT EXCEEDING FIFTY (50) FEET.
- ANY COLOR OTHER THAN RED MAY BE USED IN "NO PARKING" AREAS THAT ARE NOT APPROVED FIRE LANES. RED COLOR CURBS, PAVEMENT STRIPING OR WHEEL STOPS SHALL BE USED ONLY TO DESIGNATED APPROVED FIRE LANES EXCEPT WHERE AUTHORIZED BY THE CODE OFFICIAL.
- WHERE FIRE LANE SIGNS ARE REQUIRED, AN APPROVED TOW-AWAY ZONE SIGN SHALL BE ATTACHED TO THE SAME POLE OR COLUMN, IMMEDIATELY BELOW AND AT THE SAME ANGLE OF ATTACHMENT AS THE FIRE LANE SIGN.
- HEIGHT OF THE SIGNS SHALL BE NOT LESS THAN 6 FEET OR MORE THAN 7 FEET ABOVE THE GROUND, AS MEASURED FROM THE BOTTOM EDGE OF THE LOWER SIGN.
- FIRE LANE SIGNS SHALL BE PLACED NO LOWER THAN 6 FEET AND NO HIGHER THAN 7 FEET ABOVE THE GROUND, AS MEASURED FROM THE BOTTOM EDGE OF THE ACCESS ROAD SIGN.
- ALL REQUIRED FIRE LANES SHALL BE PROVIDED AND MAINTAINED WITH FIRE LANE STRIPING THAT CONSISTS OF A MINIMUM SIX INCH (6") WIDE RED BACKGROUND STRIPE WITH FOUR INCH (4") HIGH WHITE LETTERS STATING "FIRE LANE NO PARKING TOW-AWAY ZONE" TO BE PAINTED UPON THE RED STRIPE EVERY TWENTY FEET (20') ALONG THE ENTIRE LENGTH OF THE FIRE LANE SHOWING THE EXACT BOUNDARY OF THE FIRE LANE.
- FIRE LANE MARKINGS SHALL BE PLACED UPON THE VERTICAL SURFACE OF CURBS.
- FIRE LANE -TOW-AWAY ZONE SIGNS SHALL NOT BE LOCATED MORE THAN 100 FEET APART.
- ON CURBLESS DRIVEWAYS, THE DESIGN SHALL BE A TWELVE INCH (12") WIDE RED BACKGROUND STRIPE WITH SIX INCH (6") HIGH WHITE LETTERS STATING "FIRE LANE NO PARKING TOW-AWAY ZONE" TO BE PAINTED UPON THE RED STRIPE EVERY TWENTY FEET (20') ALONG THE ENTIRE LENGTH OF THE FIRE LANE SHOWING THE EXACT BOUNDARY OF THE FIRE LANE.

FIRE LANE

FIRE LANE
PAINT DESIGNATED CURBS WITH TRAFFIC PAINT "FIRE ENGINE RED" FACE & TOP OF CURB OR A STRIPE SHALL BE PAINT ALONG THE PAVEMENT WHERE THERE IS NO CURB. THESE CURBS AND STRIPES SHALL ALSO BE CONSPICUOUSLY AND LEGIBLY MARKED W/ THE WARNING "FIRE LANE TOW AWAY ZONE" IN WHITE COLOR. USE STENCIL W/ 4" HIGH X 3/4" THICK LETTERS @ 20'-0" O.C.

NOTE PARKING

- NOTE 1:
ACCESSIBLE PARKING SPACES AND ACCESS AISLES MUST BE LEVEL-NOT EXCEEDING 1:48 CROSS SLOPES IN ANY DIRECTION. THE WALKWAY TO THE ACCESSIBLE ENTRANCES DOES NOT HAVE CROSS SLOPES.
402.2 COMPONENTS: ACCESSIBLE ROUTES SHALL CONSIST OF ONE OR MORE OF THE FOLLOWING COMPONENTS: WALKING SURFACES WITH A RUNNING SLOPE NOT STEEPER THAN 1:20. DOORWAYS, RAMPS, CURB RAMPS EXCLUDING THE FLARED SIDES, ELEVATORS, AND PLATFORM ALL COMPONENTS OF AN ACCESSIBLE ROUTE SHALL COMPLY WITH THE APPLICABLE REQUIREMENTS OF CHAPTER 4.
403.3 SLOPE: THE RUNNING SLOPE OF WALKING SURFACES SHALL NOT BE STEEPER THAN 1:20. THE CROSS SLOPE OF WALKING SURFACES SHALL NOT BE STEEPER THAN 1:48.
502.4 FLOOR OR GROUND SURFACES: PARKING SPACES AND ACCESS AISLES SERVING THEM SHALL COMPLY WITH 302. ACCESS AISLES SHALL BE AT THE SAME LEVEL AS THE PARKING SPACES THEY LIFTS. CHANGES IN LEVEL ARE NOT PERMITTED.
- NOTE 2:
THE AREA REQUIRED FOR MANEUVERING CLEARANCE AT ACCESSIBLE EXTERIOR ENTRY DOORS MUST BE LEVEL (DOES NOT EXCEED 1:48 SLOPE IN ANY DIRECTION).
404.2.4 MANEUVERING CLEARANCES: MINIMUM MANEUVERING CLEARANCES AT DOORS AND GATES SHALL COMPLY WITH 404.2.4. MANEUVERING CLEARANCES SHALL EXTEND THE FULL WIDTH OF THE DOORWAY AND THE REQUIRED LATCH SIDE OR HINGE SIDE CLEARANCE.
404.2.4.4 FLOOR OR GROUND SURFACE: FLOOR OR GROUND SURFACE WITHIN REQUIRED MANEUVERING CLEARANCES SHALL COMPLY WITH 302. CHANGES IN LEVEL ARE NOT PERMITTED.
EXCEPTIONS: 1. SLOPES NOT STEEPER THAN 1:48 SHALL BE PERMITTED. 2. CHANGES IN LEVEL AT THRESHOLDS COMPLYING WITH 404.2.5 SHALL BE PERMITTED.

PARKING REQUIREMENT

WAREHOUSE TOTAL AREA: 85,118 SF
OFFICES: 9,852 / 300 : 33 SPACES
WAREHOUSE: 75,266 / 1,000: 76 SPACES

TOTAL REQUIRED	109
TOTAL PROVIDED	110
INCLUDED 14 HANDICAP VAN	

GENERAL NOTES

- DO NOT SCALE DRAWINGS. CONTACT DESIGNER TO VERIFY ANY UNKNOWN DIMENSIONS.
- CONTRACTOR TO VERIFY WITH DIMENSIONS BEFORE COMMENCING ANY WORK. CONTRACTOR TO INFORM DESIGNER OF ANY DISCREPANCIES.
- ALL OTHER WORK REQUIRED BUT NOT SPECIFIED IN THIS DOCUMENTS SHALL BE PERFORMED BY CONTRACTORS TO MEET THE GENERAL PRACTICING STANDARDS, BUILDING CODES AND MANUFACTURER'S INSTRUCTIONS AND SPECIFICATIONS.
- CONTRACTOR TO OBTAIN ALL PERMITS AND INSPECTIONS AND COMPLY WITH ALL CODES, LAWS, ORDINANCES, RULES AND REGULATIONS OF ALL PUBLIC AUTHORITIES (FEDERAL, STATE OR GOVERNING THE WORK. THE MOST STRINGENT SHALL APPLY.
- ALL MANUFACTURED ARTICLES, MATERIALS AND EQUIPMENT SHALL BE APPLIED, INSTALLED, CONNECTED, ERECTED, CLEANED AND CONDITIONED PER MANUFACTURER'S INSTRUCTIONS. IN CASE OF DIFFERENCES BETWEEN THE MANUFACTURER'S INSTRUCTION AND THE CONTRACT DOCUMENTS, THE CONTRACTOR SHALL NOTIFY THE DESIGNER BEFORE PROCEEDING.
- ALL SIDEWALKS AND PATIO AREAS SURROUNDING THE BUILDING TO MAINTAIN A MAXIMUM 2% SLOPE.
- CONTRACTOR SHALL VERIFY ALL EXISTING SITE AND BUILDING CONDITIONS IN THE FIELD PRIOR BIDDING.
- CONTRACTOR SHALL PROVIDE ANY TEMPORARY ROADS OR CROSSINGS AS REQUIRED FOR EXECUTION OF THE CONTRACT. ALL TEMPORARY CONSTRUCTION SHALL BE REMOVED AT THE COMPLETION OF THE PROJECT.
- PROVIDE CONCRETE WALKS WITH CONTROL AND EXPANSION JOINT.
- RELOCATION OF ALL UTILITY POLES, LINES AND OTHER EXISTING SERVICES (IF REQUIRED) SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR AND SHALL BE VERIFIED AND COORDINATED WITH APPROPRIATE AGENCIES.
- GRADE ALL LANDSCAPE ISLANDS TO AVOID WATER PONDING INSIDE CURBS-TYPICAL.
- ALL PAVING TO BE CONCRETE UNLESS NOTED OTHERWISE.
- SIGNAGE AND PAVEMENT MARKINGS SHALL CONFORM TO THE TEXAS MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES.
- REFER TO CIVIL DRAWING FOR SITE WORK.
- GENERAL CONTRACTOR TO PROTECT ALL TREES AND SHRUBS (IF ANY) IN AREA OF NEW CONSTRUCTION.
- CONTRACTOR TO STAKE OUT ALL CORNERS OF BUILDINGS, ALL MAJOR SITE AND BUILDING COMPONENTS, ALL COLUMN LOCATIONS AND WATER EASEMENT PRIOR TO COMMENCEMENT OF ANY OTHER WORK.
- ALL RESERVED SYMBOLS ARE TO BE PAINTED "INTERNATIONAL RESERVED BLUE". ALL OTHER STRIPING AND ADJACENT ACCESS AISLES IS TO BE PAINTED WHITE.
- FLOOR OR LANDING ON EACH SIDE OF DOORS ARE AT THE SAME ELEVATION ON EACH SIDE OF THE DOORS. LANDING SHALL BE LEVEL EXCEPT THAT EXTERIOR LANDINGS MAY HAVE A SLOPE NOT TO EXCEED 1/4 UNIT VERTICAL IN 12 UNITS HORIZONTAL (2% SLOPE) AS PER SECTION 1008.1.4.
- GROUND AND FLOOR SURFACES ALONG ACCESSIBLE ROUTES AND IN ACCESSIBLE ROOMS AND SPACES INCLUDING FLOORS, WALKS, RAMPS, STAIRS, AND CURB RAMPS, SHALL BE STABLE, FIRM, SLIP RESISTANT AND SHALL COMPLY WITH TAS.

01 SITE PLAN
Scale 1/32" = 1' - 0"

WATER SUPPLY (FOR FIREFIGHTING)

BUILDING	REQUIRED GPM:	2,250
BUILDING 01	DURATION:	2H
	NUMBER OF HYDRANTS REQUIRED / PROVIDED	2REQ / 2PROV
	75% REDUCTION (MUST MAINTAIN MINIMUM PER TABLE B105.1.(1) OR B105.1.(2))	NO
BUILDING 02 & 03	REQUIRED GPM:	2,500
	DURATION:	2H
	NUMBER OF HYDRANTS REQUIRED / PROVIDED	3REQ / 3PROV
75% REDUCTION (MUST MAINTAIN MINIMUM PER TABLE B105.1.(1) OR B105.1.(2))	NO	
BUILDING 04, 05, 06 & 07	REQUIRED GPM:	2,500
	DURATION:	2H
	NUMBER OF HYDRANTS REQUIRED / PROVIDED	3REQ / 3PROV
75% REDUCTION (MUST MAINTAIN MINIMUM PER TABLE B105.1.(1) OR B105.1.(2))	NO	

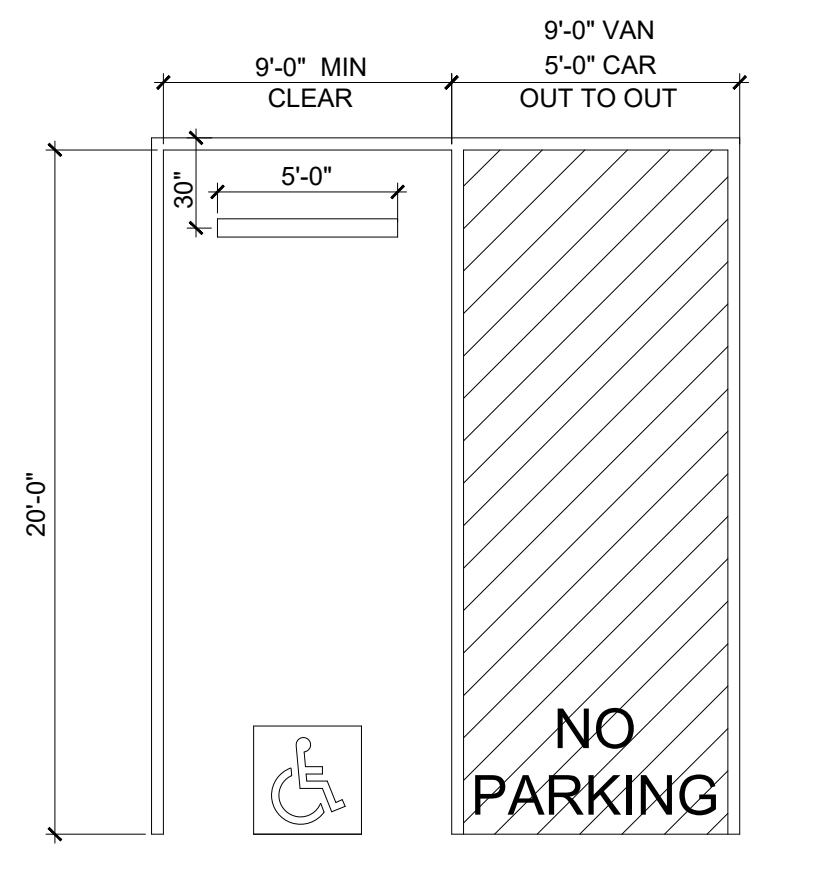
GENERAL REFERENCE: SECTION 212.009 OF CHAPTER 212, MUNICIPAL REGULATION OF SUBDIVISIONS AND PROPERTY DEVELOPMENT, OF THE TEXAS LOCAL GOVERNMENT CODE

SITE PLAN SIGNATURE BLOCK

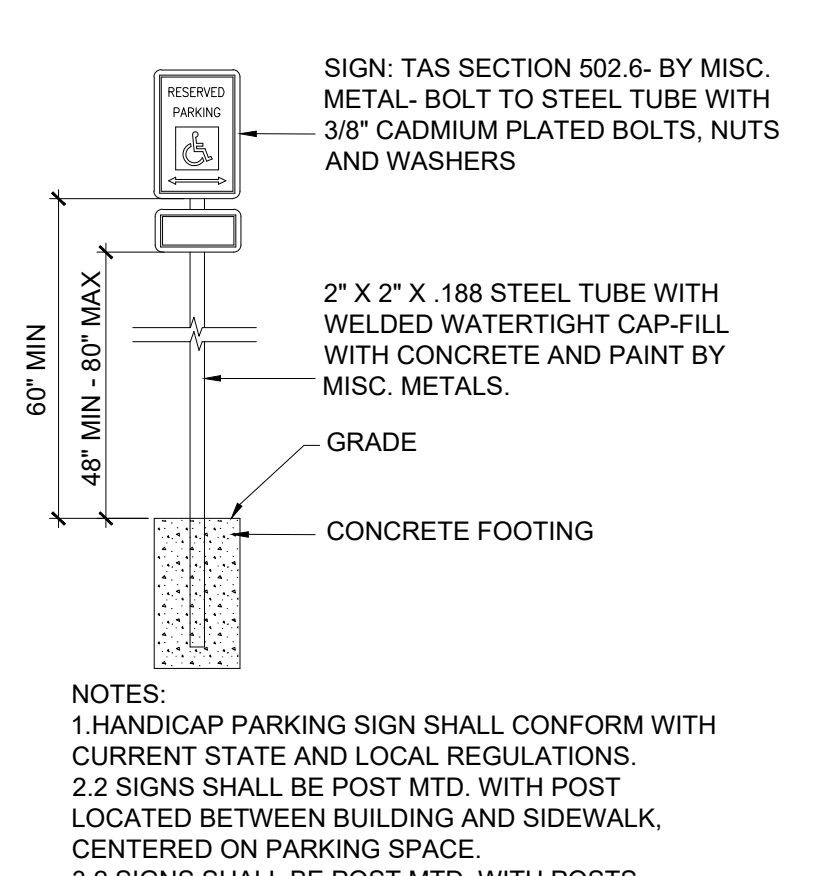
APPROVED:
I hereby certify that the above and foregoing site plan for a development in the City of Rockwall, Texas, was approved by the Planning & Zoning Commission of the City of Rockwall on the [DAY] day of [MONTH], [YEAR].

WITNESS OUR HANDS, this ___ day of _____, 2023.

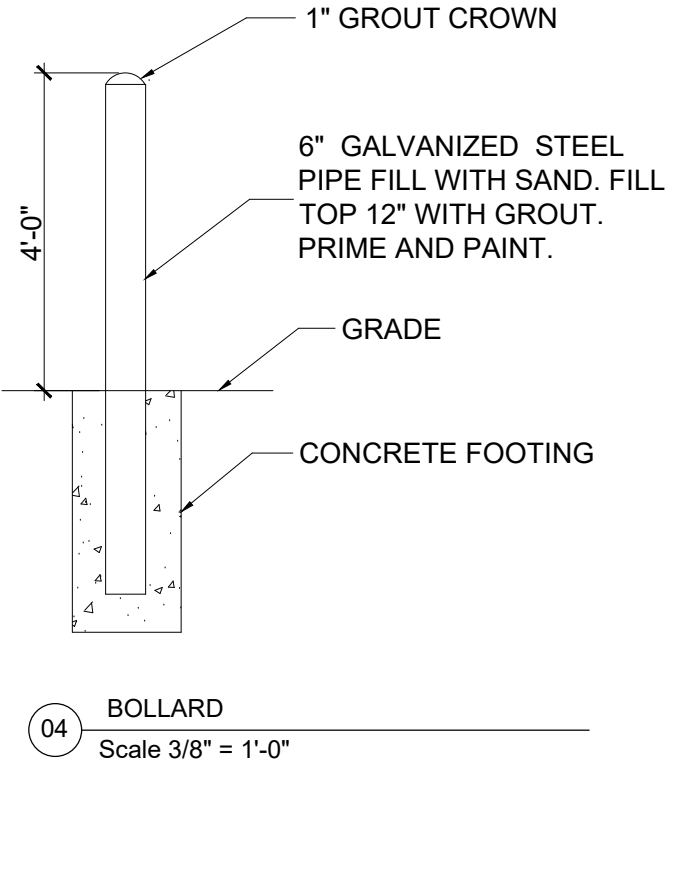
Planning & Zoning Commission, Chairman Director of Planning and Zoning



02 HANDICAP SPACE & AISLE
Scale 3/8" = 1'-0"



03 HANDICAP SIGN POST
Scale 3/8" = 1'-0"



04 BOLLARD
Scale 3/8" = 1'-0"

RSG ENGINEERING

13501 KATY FREEWAY
SUITE 3180
HOUSTON, TEXAS 77079
PH. 713-763-7777

project
ROCKWALL OFFICES WAREHOUSES
at
0 AIRPORT ROAD
ROCKWALL, TX 75087

REVISIONS

ISSUE DATE: 08/07/23

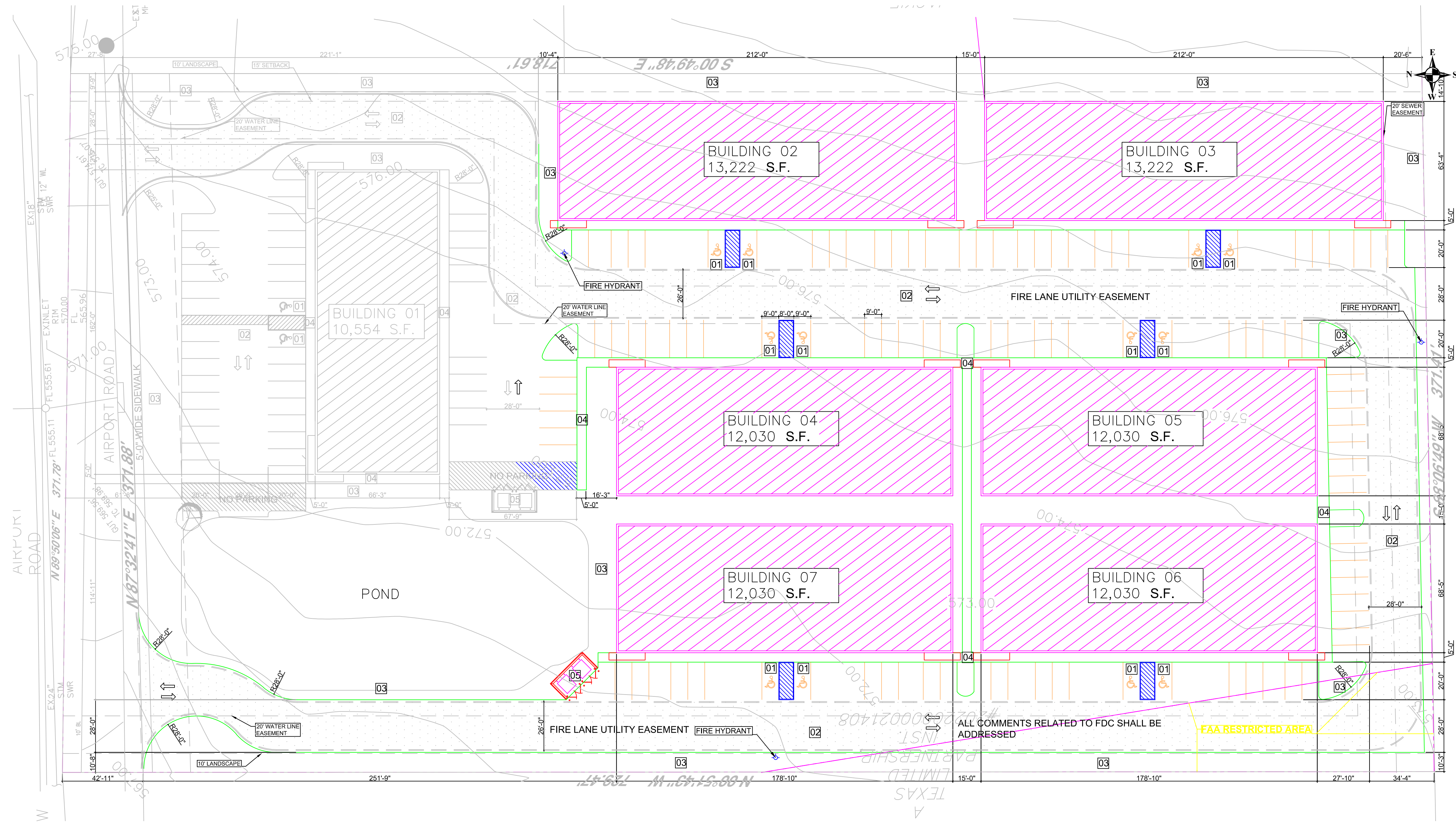
05/19/2023

SHEET No: A0.1

DRAWN BY: CHECKED:

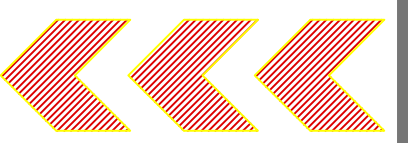
PROJECT No: 23420.02

TYPE FIRM #: 15498



01 FUTURE PHASES: SITE PLAN
Scale 1/32" = 1' - 0"

COLORED DETAIL REPRESENTS FUTURE PHASES: BUILDINGS 02,03,04,05,06,07
(NUMBER OF PHASES & BUILDINGS IN EACH PHASE TO BE DECIDED)



REVISIONS

ISSUE DATE: 08/10/23



05/19/2023

PHASE 1
SITE PLAN

DRAWN BY: CHECKED:

PROJECT No: SHEET No:
23420.02 A0.1

GENERAL REFERENCE: SECTION 212.009 OF CHAPTER 212, MUNICIPAL REGULATION OF SUBDIVISIONS AND PROPERTY DEVELOPMENT, OF THE TEXAS LOCAL GOVERNMENT CODE

SITE PLAN SIGNATURE BLOCK

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I hereby certify that the above and foregoing site plan for a development in the City of Rockwall, Texas, was approved by the Planning & Zoning Commission of the City of Rockwall on the [DAY] day of [MONTH], [YEAR].

WITNESS OUR HANDS, this ____ day of _____, 2023.

Planning & Zoning Commission, Chairman

Director of Planning and Zoning

NO ROOF MOUNTED HVAC UNITS.
HVAC MECHANICAL UNITS TO BE PLACED ADJACENT TO BUILDING WITH REQUIRED SCREENING

GENERAL NOTES

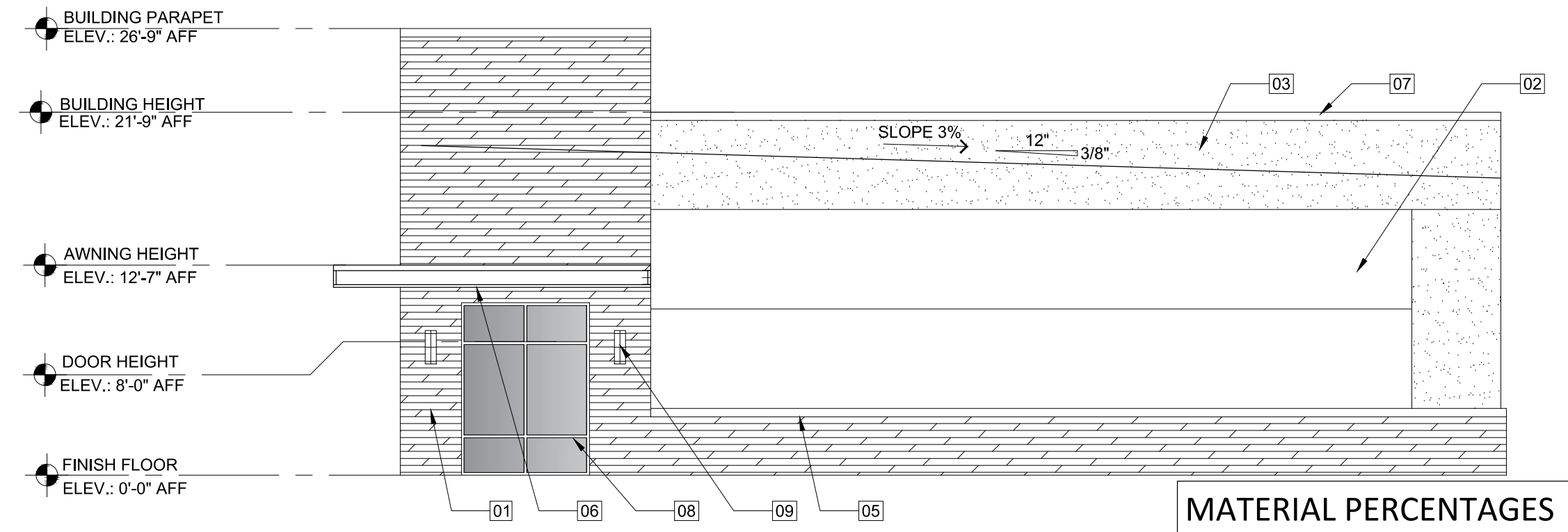
- ALL PAINT SHALL BE APPROVED BY OWNER PRIOR TO APPLICATION. PREPARE SURFACE AND APPLY PAINT, PER PAINT MANUFACTURER RECOMMENDATIONS.
- ALL GLAZING TO BE TEMPERED. REFER WINDOW SCHEDULE.
- VERTICAL DIMENSIONS SHOWN ARE FOR REFERENCE TO TOP OF FRAMING. REFER WALL SECTIONS AND DETAILS FOR SPECIFICS.
- CONTRACTOR SHALL SUBMIT MANUFACTURER CUT SHEETS AND SAMPLES FOR ALL SYSTEM MATERIAL FOR REVIEW AND APPROVAL BEFORE PLACING ORDER. SUBSTITUTE PRODUCTS MUST BE EQUAL QUALITY IN FUNCTION AND APPEARANCE, AND MUST BE APPROVED BY DESIGNER AND OWNER.
- CONTRACTOR SHALL VERIFY AND COORDINATE ALL NEW AND EXISTING CONDITIONS AND DIMENSIONS AT JOB SITE FOR COMPARISON WITH DRAWINGS AND SPECIFICATIONS PRIOR TO COMMENCING ANY WORK. IF ANY DISCREPANCIES, INCONSISTENCIES OR OMISSIONS ARE FOUND, THE DESIGNER SHALL BE NOTIFIED IN WRITING FOR CLARIFICATION PRIOR TO PROCEEDING WITH WORK.
- CONTROL JOINT. NOT TO EXCEED 144 S.F.



MATERIAL PERCENTAGES
1 STONE: = 33% **20% MIN.**
2**3****4** MASONRY: = 67%

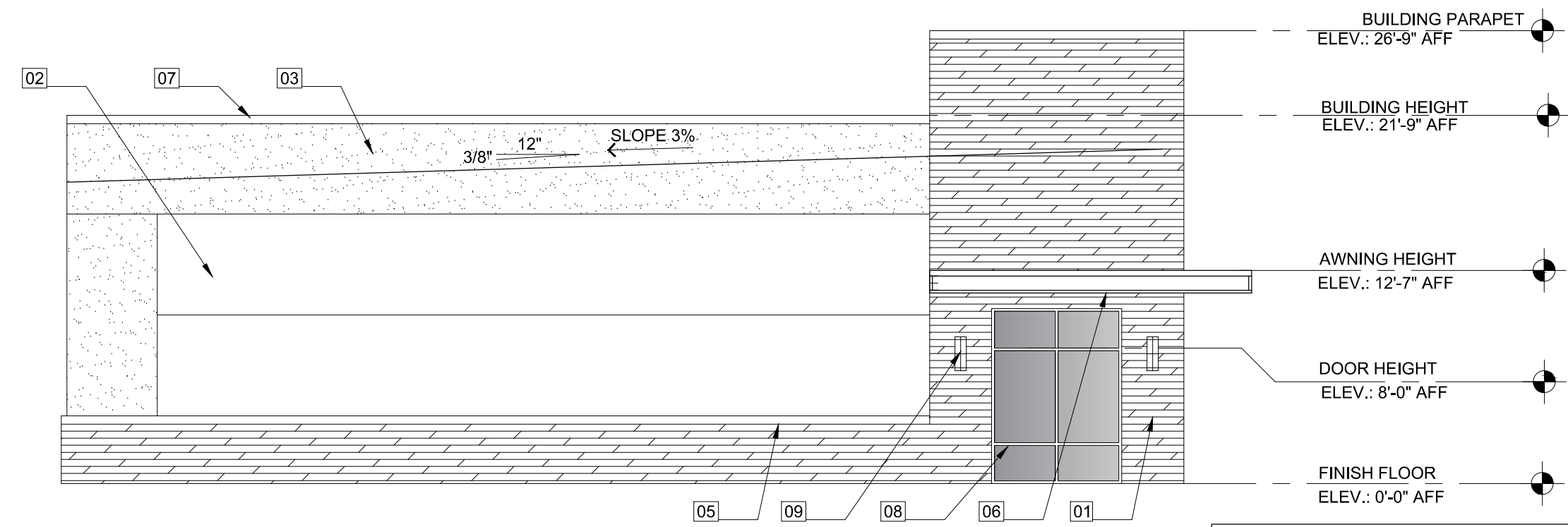
01 FRONT ELEVATION
Scale 1/8" = 1' - 0"

WILL PROVIDE FUTURE SUITE NUMBERS
PER CITY REQUIREMENTS



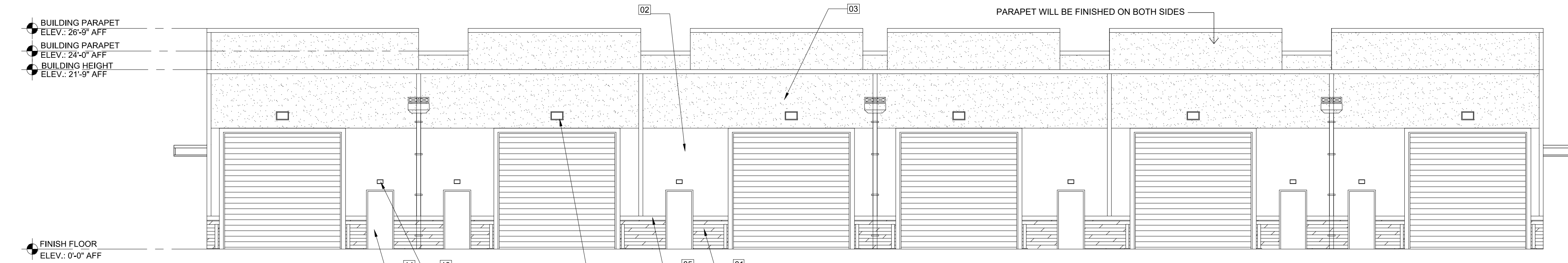
MATERIAL PERCENTAGES
1 STONE: = 63% **20% MIN.**
2**3****4** MASONRY: = 37%

02 RIGHT ELEVATION
Scale 1/8" = 1' - 0"



MATERIAL PERCENTAGES
1 STONE: = 63% **20% MIN.**
2**3****4** MASONRY: = 37%

03 LEFT ELEVATION
Scale 1/8" = 1' - 0"



MATERIAL PERCENTAGES
1 STONE: = 4%
2**3****4** MASONRY: = 96%

04 REAR ELEVATION
Scale 1/8" = 1' - 0"

EXTERIOR ELEVATION KEY NOTES

- NATURAL QUARRIED STONE. COLOR: SW 7066 (GRAY MATTERS)
- STUCCO COLOR: SW 7074 (SOFTWARE)
- STUCCO COLOR: SW 7074 (SOFTWARE)
- STUCCO COLOR: SW 6257 (GIBRALTAR)
- CAP STONE
- PRE-FINISHED METAL CANOPY. COLOR: SW 7076 (CYBERSPACE)
- METAL COPING
- WINDOW/ DOOR SYSTEM (RE. SCHEDULES)
- WALL SCONCE
- WALL PACK LIGHT
- DOWNSPOUT
- WALL SUPPORT - PROVIDE WHERE IS NECESSARY
- EXTERIOR WALL-MOUNTED LIGHT
- PAINTED METAL DOOR. COLOR: SW 7664 (STEELY GRAY)
- SCUPPER
- OVERHEAD DOOR. COLOR: SW 7664 (STEELY GRAY)
- BOLLARDS

RSG ENGINEERING

TBPE FIRE # : 15498

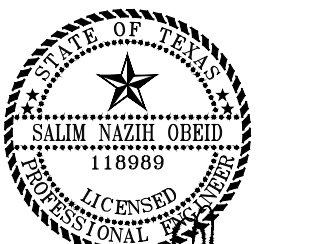
13501 KATY FREEWAY
SUITE 3180
HOUSTON, TEXAS 77079
PH. 713-783-7777

project
ROCKWALL OFFICES WAREHOUSES
at
0 AIRPORT ROAD
ROCKWALL, TX 75087

REVISIONS

ISSUE DATE: 08/07/23

BUILDING 01



05/19/2023

EXTERIOR ELEVATIONS

DRAWN BY: CHECKED:

PROJECT No: SHEET No:

23420.02 A2.0

EXTERIOR ELEVATION KEY NOTES

- 1 NATURAL QUARRIED STONE. COLOR: SW 7066 (GRAY MATTERS)
- 2 1/2" CORRUGATED METAL SIDING 15". COLOR: SW 7074 (SOFTWARE)
- 3 3/4" CORRUGATED METAL SIDING 10". COLOR: SW 7074 (SOFTWARE)
- 4 1/2" CORRUGATED METAL SIDING 5". COLOR: SW 6257 (GIBALTAR)
- 5 CAP STONE
- 6 PRE-FINISHED METAL CANOPY. COLOR: SW 7076 (CYBERSPACE)
- 7 METAL COPING
- 8 WINDOW DOOR SYSTEM (RE. SCHEDULES)
- 9 WALL SCONCE
- 10 WALL PACK LIGHT
- 11 DOWNSPOUT
- 12 WALL SUPPORT - PROVIDE WHERE IS NECESSARY
- 13 EXTERIOR WALL-MOUNTED LIGHT
- 14 PAINTED METAL DOOR. COLOR: SW 7664 (STEELY GRAY)
- 15 GUTTER
- 16 OVERHEAD DOOR - COLOR: SW 7664 (STEELY GRAY)
- 17 BOLLARDS
- 18 ROOF
- 19 WALL SUPPORT
- 20 VENTS

GENERAL REFERENCE: SECTION 212.009 OF CHAPTER 212, MUNICIPAL REGULATION OF SUBDIVISIONS AND PROPERTY DEVELOPMENT, OF THE TEXAS LOCAL GOVERNMENT CODE

SITE PLAN SIGNATURE BLOCK

APPROVED:
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WITNESS OUR HANDS, this ____ day of _____, 2023.

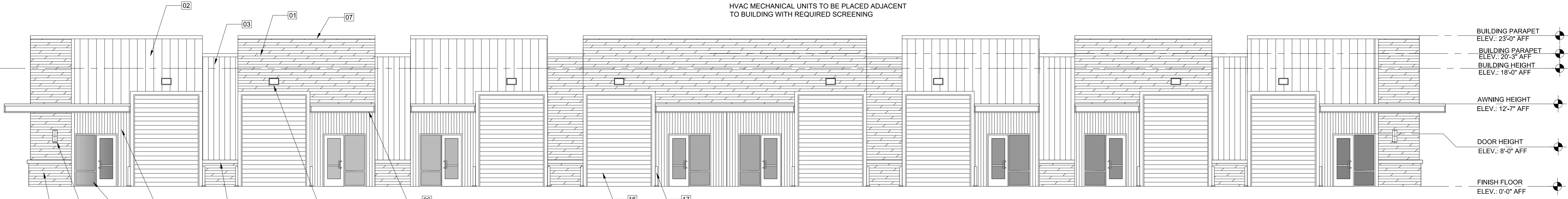
Planning & Zoning Commission, Chairman

Director of Planning and Zoning

GENERAL NOTES

1. ALL PAINT SHALL BE APPROVED BY OWNER PRIOR TO APPLICATION. PREPARE SURFACE AND APPLY PAINT, PER PAINT MANUFACTURER RECOMMENDATIONS.
2. ALL GLAZING TO BE TEMPERED. REFER WINDOW SCHEDULE.
3. VERTICAL DIMENSIONS SHOWN ARE FOR REFERENCE TO TOP OF FRAMING. REFER WALL SECTIONS AND DETAILS FOR SPECIFICS.
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NO ROOF MOUNTED HVAC UNITS.
HVAC MECHANICAL UNITS TO BE PLACED ADJACENT TO BUILDING WITH REQUIRED SCREENING

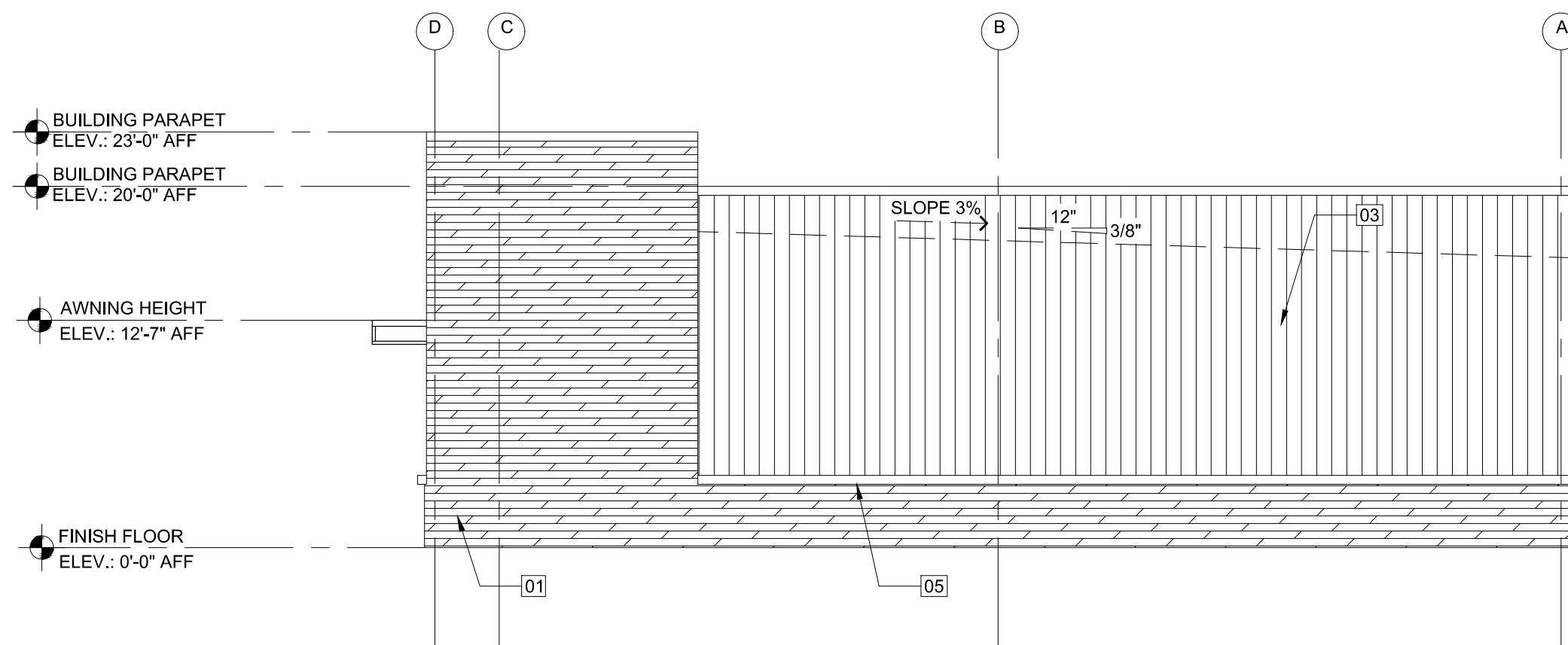


- BUILDING PARAPET ELEV.: 23'-0" AFF
- BUILDING PARAPET ELEV.: 20'-3" AFF
- BUILDING HEIGHT ELEV.: 18'-0" AFF
- AWNING HEIGHT ELEV.: 12'-7" AFF
- DOOR HEIGHT ELEV.: 8'-0" AFF
- FINISH FLOOR ELEV.: 0'-0" AFF

MATERIAL PERCENTAGES

- 1 STONE: = 46% 20% MIN.
- 2 3 4 METAL SIDING: = 54%

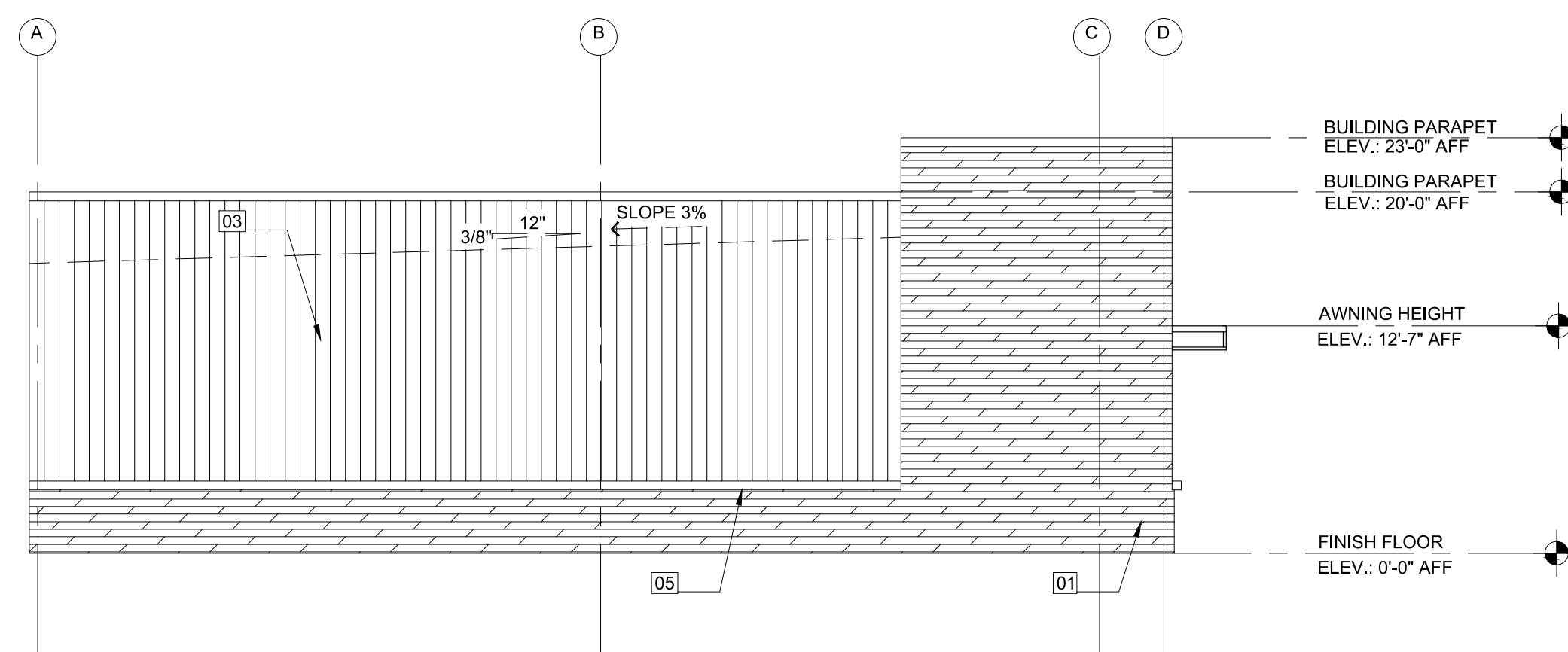
WILL PROVIDE FUTURE SUITE NUMBERS PER CITY REQUIREMENTS



02 RIGHT ELEVATION
Scale 1/8" = 1' - 0"

MATERIAL PERCENTAGES

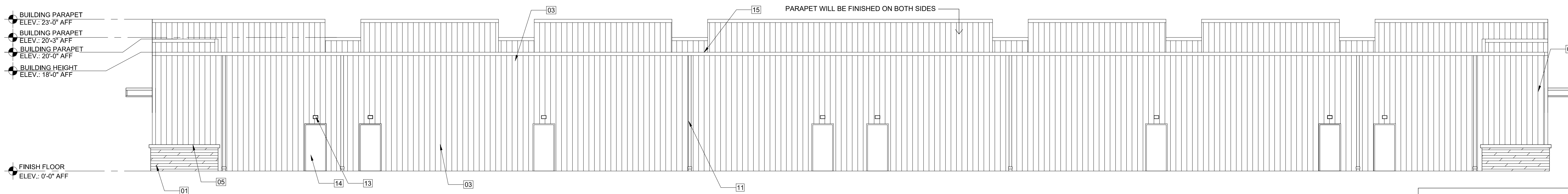
- 1 STONE: = 42% 20% MIN.
- 2 3 4 METAL SIDING: = 58%



03 LEFT ELEVATION
Scale 1/8" = 1' - 0"

MATERIAL PERCENTAGES

- 1 STONE: = 42% 20% MIN.
- 2 3 4 METAL SIDING: = 58%



04 REAR ELEVATION
Scale 1/8" = 1' - 0"

MATERIAL PERCENTAGES

- 1 STONE: = 2% 20% MIN.
- 2 3 4 METAL SIDING: = 98%

RSG ENGINEERING

13501 KATY FREEWAY
SUITE 3180
HOUSTON, TEXAS 77079
PH. 713-783-7777

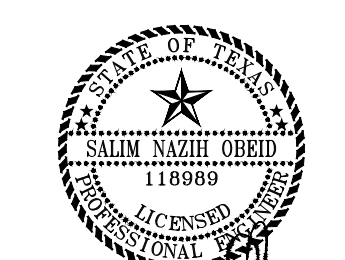
TBP# FIRM #: 15498

project
ROCKWALL OFFICES WAREHOUSES
at
0 AIRPORT ROAD
ROCKWALL, TX 75087

REVISIONS

ISSUE DATE: 08/07/23

BUILDINGS 02 & 03



05/19/2023

EXTERIOR ELEVATIONS

DRAWN BY: CHECKED:

PROJECT No: SHEET No:

23420.02 A2.0

EXTERIOR ELEVATION KEY NOTES

- 1 NATURAL QUARRIED STONE. COLOR: SW 7066 (GRAY MATTERS)
- 2 1/2" CORRUGATED METAL SIDING 15". COLOR: SW 7074 (SOFTWARE)
- 3 1/2" CORRUGATED METAL SIDING 10". COLOR: SW 7074 (SOFTWARE)
- 4 1/2" CORRUGATED METAL SIDING 5". COLOR: SW 6257 (GIBRALTAR)
- 5 CAP STONE
- 6 PRE-FINISHED METAL CANOPY. COLOR: SW 7076 (CYBERSPACE)
- 7 METAL COPING
- 8 WINDOW/DOOR SYSTEM (RE. SCHEDULES)
- 9 WALL SCONCE
- 10 WALL PACK LIGHT
- 11 DOWNSPOUT
- 12 WALL SUPPORT - PROVIDE WHERE IS NECESSARY
- 13 EXTERIOR WALL-MOUNTED LIGHT
- 14 PAINTED METAL DOOR. COLOR: SW 7664 (STEELY GRAY)
- 15 GUTTER
- 16 OVERHEAD DOOR - COLOR: SW 7664 (STEELY GRAY)
- 17 BOLLARDS
- 18 ROOF
- 19 WALL SUPPORT
- 20 VENTS

GENERAL REFERENCE: SECTION 212.009 OF CHAPTER 212, MUNICIPAL REGULATION OF SUBDIVISIONS AND PROPERTY DEVELOPMENT, OF THE TEXAS LOCAL GOVERNMENT CODE

SITE PLAN SIGNATURE BLOCK

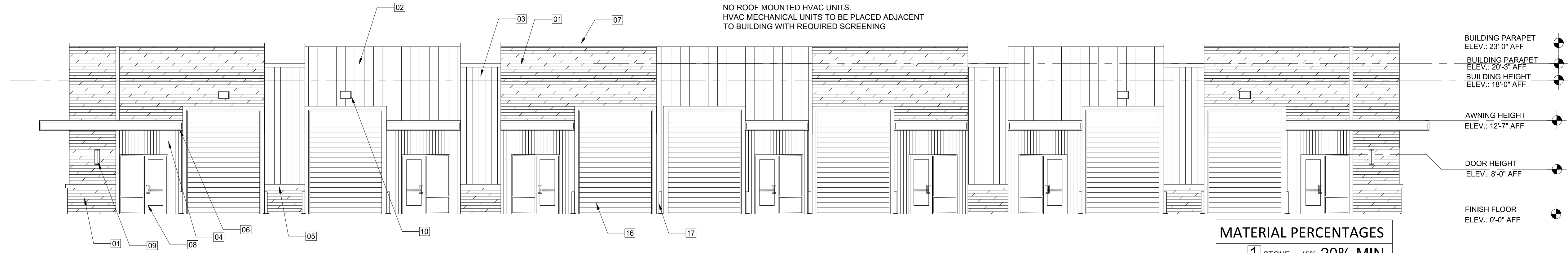
APPROVED:
I hereby certify that the above and foregoing site plan for a development in the City of Rockwall, Texas, was approved by the Planning & Zoning Commission of the City of Rockwall on the [DAY] day of [MONTH], [YEAR].

WITNESS OUR HANDS, this ____ day of _____, 2023.

Planning & Zoning Commission, Chairman Director of Planning and Zoning

GENERAL NOTES

1. ALL PAINT SHALL BE APPROVED BY OWNER PRIOR TO APPLICATION. PREPARE SURFACE AND APPLY PAINT, PER PAINT MANUFACTURER RECOMMENDATIONS.
2. ALL GLAZING TO BE TEMPERED. REFER WINDOW SCHEDULE.
3. VERTICAL DIMENSIONS SHOWN ARE FOR REFERENCE TO TOP OF FRAMING. REFER WALL SECTIONS AND DETAILS FOR SPECIFICS.
4. CONTRACTOR SHALL SUBMIT MANUFACTURER CUT SHEETS AND SAMPLES FOR ALL SYSTEM MATERIAL FOR REVIEW AND APPROVAL BEFORE PLACING ORDER. SUBSTITUTE PRODUCTS MUST BE EQUAL QUALITY IN FUNCTION AND APPEARANCE, AND MUST BE APPROVED BY DESIGNER AND OWNER.
5. CONTRACTOR SHALL VERIFY AND COORDINATE ALL NEW AND EXISTING CONDITIONS AND DIMENSIONS AT JOB SITE FOR COMPARISON WITH DRAWINGS AND SPECIFICATIONS PRIOR TO COMMENCING ANY WORK. IF ANY DISCREPANCIES, INCONSISTENCIES OR OMISSIONS ARE FOUND, THE DESIGNER SHALL BE NOTIFIED IN WRITING FOR CLARIFICATION PRIOR TO PROCEEDING WITH WORK.
6. CONTROL JOINT. NOT TO EXCEED 144 S.F.



01 FRONT ELEVATION
Scale 1/8" = 1' - 0"

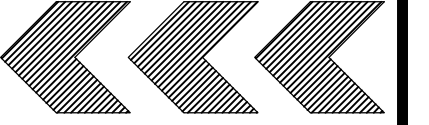
MATERIAL PERCENTAGES
1 STONE = 45% 20% MIN.
2 3 4 METAL SIDING = 55%

NO ROOF MOUNTED HVAC UNITS.
HVAC MECHANICAL UNITS TO BE PLACED ADJACENT TO BUILDING WITH REQUIRED SCREENING

- BUILDING PARAPET ELEV.: 23'-0" AFF
- BUILDING PARAPET ELEV.: 20'-3" AFF
- BUILDING HEIGHT ELEV.: 18'-0" AFF
- AWNING HEIGHT ELEV.: 12'-7" AFF
- DOOR HEIGHT ELEV.: 8'-0" AFF
- FINISH FLOOR ELEV.: 0'-0" AFF

RSG ENGINEERING

13501 KATY FREEWAY
SUITE 3180
HOUSTON, TEXAS 77079
PH. 713-783-7777

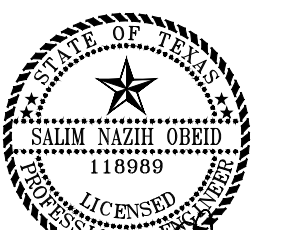


project
ROCKWALL OFFICES WAREHOUSES
at
0 AIRPORT ROAD
ROCKWALL, TX 75087

REVISIONS

ISSUE DATE: 08/07/23

BUILDINGS
04, 05, 06 & 07

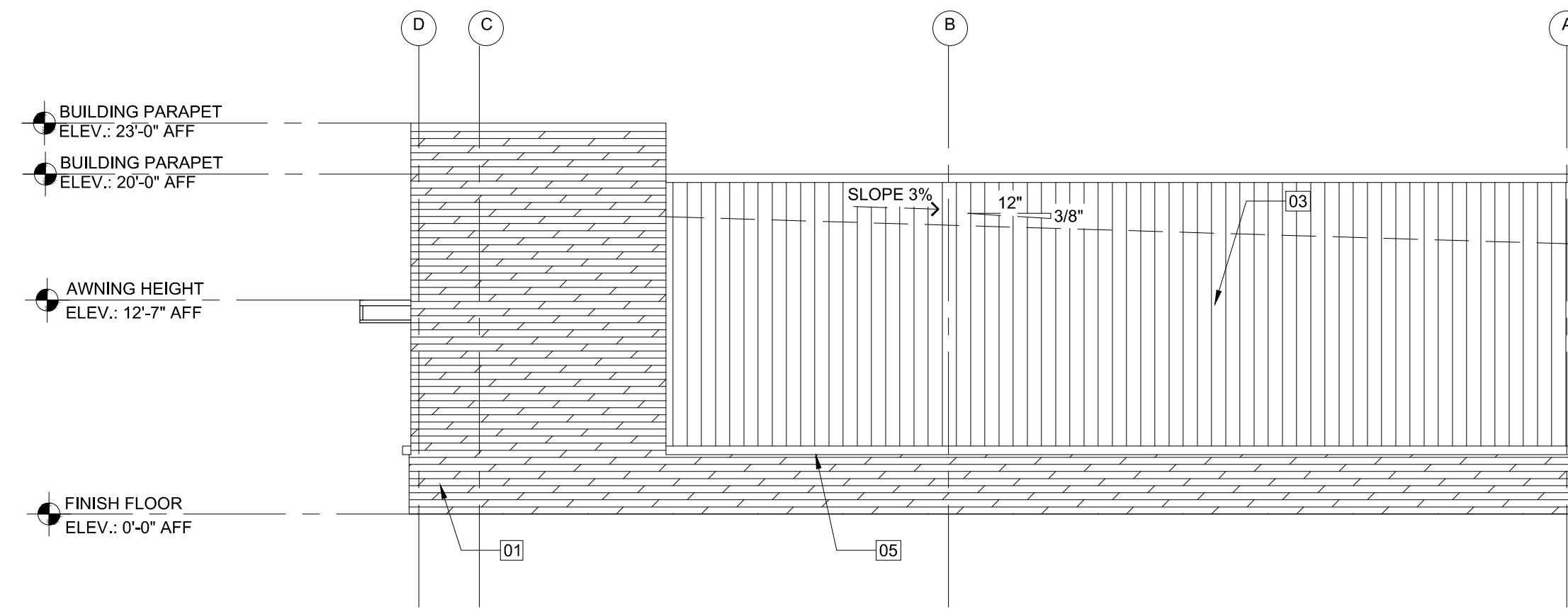


05/19/2023

EXTERIOR ELEVATIONS

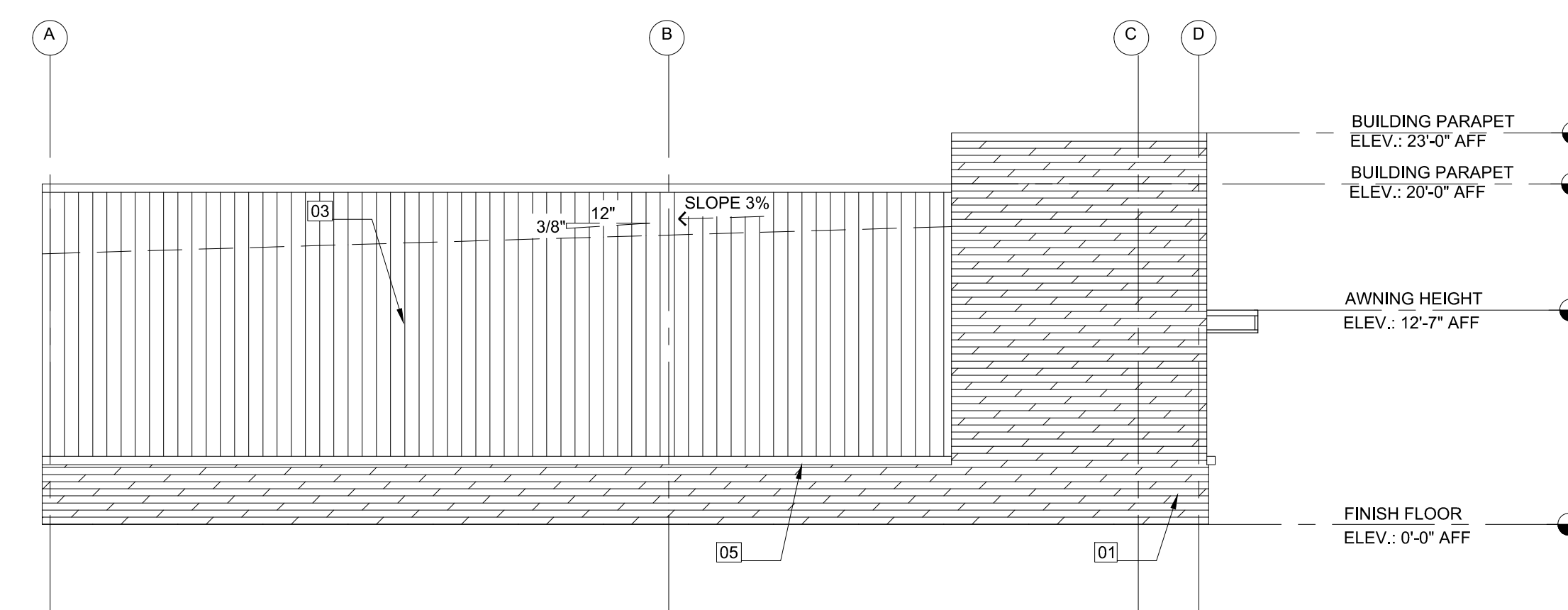
DRAWN BY: CHECKED:

PROJECT No: SHEET No:
23420.02 A2.0



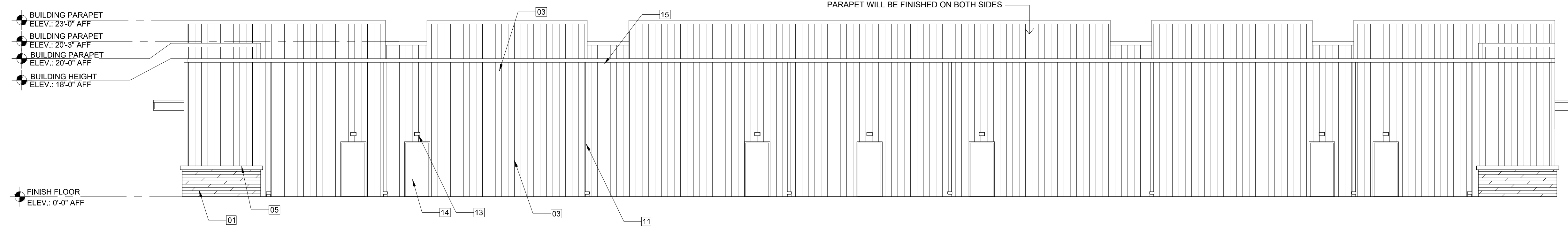
02 RIGHT ELEVATION
Scale 1/8" = 1' - 0"

MATERIAL PERCENTAGES
1 STONE = 40% 20% MIN.
2 3 4 METAL SIDING = 60%



03 LEFT ELEVATION
Scale 1/8" = 1' - 0"

MATERIAL PERCENTAGES
1 STONE = 40% 20% MIN.
2 3 4 METAL SIDING = 60%



04 REAR ELEVATION
Scale 1/8" = 1' - 0"

MATERIAL PERCENTAGES
1 STONE = 2%
2 3 4 METAL SIDING = 98%



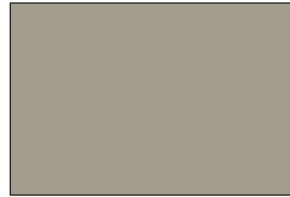
22GA / 24GA PVDF COLORS



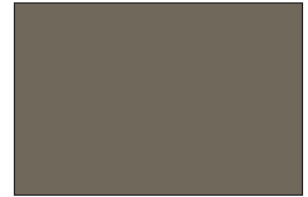
REGAL WHITE
TSR 69.6 E .83 SRI 84



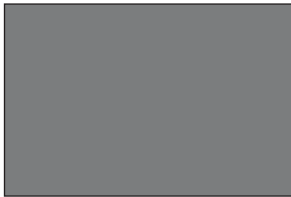
PARCHMENT
TSR 50.7 E .85 SRI 58



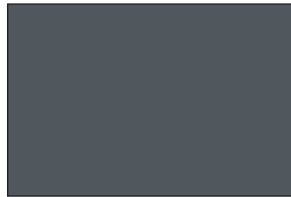
SIERRA TAN
TSR 52 E .85 SRI 59



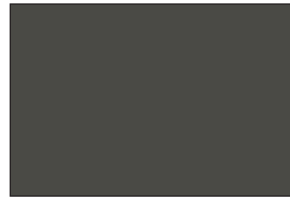
MOCHA
TSR 34.4 E .83 SRI 35



OLD ZINC GRAY
TSR 37.1 E .87 SRI 40



SLATE GRAY
TSR 29.7 E .86 SRI 30



BRONZE
TSR 29.7 E .86 SRI 30



DARK BRONZE
TSR 28.7 E .85 SRI 28



OLD TOWN GRAY
TSR 39.2 E .84 SRI 42



WEATHERED COPPER
TSR 32.8 E .9 SRI 36



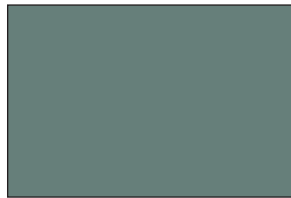
COLONIAL RED
TSR 32.7 E .87 SRI 34



RETRO RED
TSR 38.6 E .85 SRI 41



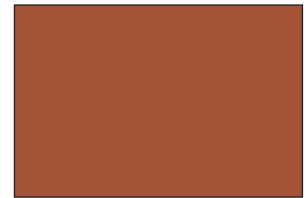
HARTFORD GREEN
TSR 27.5 E .86 SRI 27



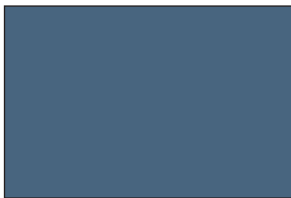
HEMLOCK GREEN
TSR 34 E .86 SRI 36



FOREST GREEN
TSR 30 E .86 SRI 30



TERRA COTTA
TSR 39.5 E .84 SRI 42



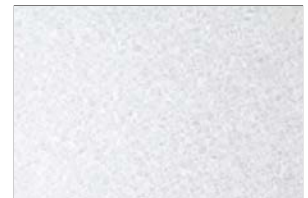
TWILIGHT BLUE
TSR 31.1 E .86 SRI 32



REGAL BLUE
TSR 26.2 E .85 SRI 25

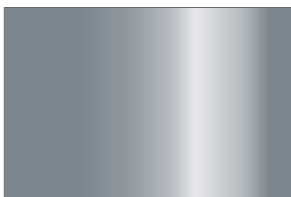


MATTE BLACK
TSR .277 E .86 SRI 27

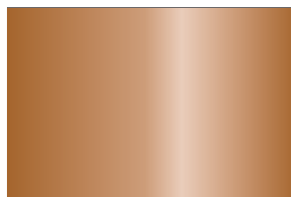


GALVALUME
*24 Gauge Only

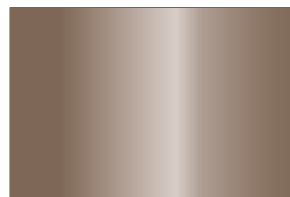
22GA / 24GA METALLIC PVDF COLORS



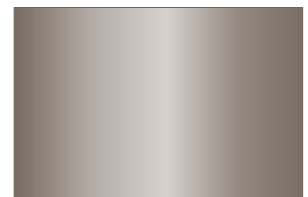
SILVER METALLIC ‡
TSR 50 E .8 SRI 58



COPPER PENNY ‡
TSR 46.2 E .85 SRI 52

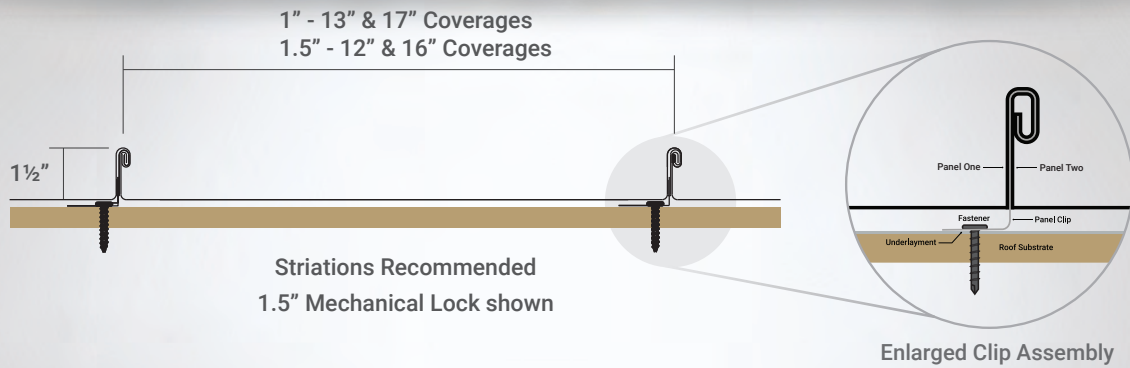
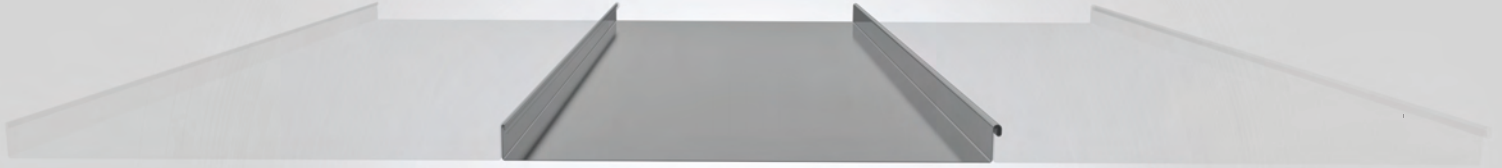


CHAMPAGNE METALLIC ‡
TSR 46.6 E .83 SRI 51



MICA WEATHERED ZINC ‡
TSR 38.6 E .83 SRI 40

‡ Metallic color, premium pricing applies.



Roof Coverage	1" - 13" & 17" 1.5" - 12" & 16"
Radius Panel	Available
Panel Gauges	22*, 24*
Fastener Options	Concealed Clip System
Panel Length	3' - 43" Shop Production 100'+ Run Onsite
Rib Height	1" or 1.5"
Roof Slope	Minimum 1:12 or Greater with Mastic
Impact Rating	UL 2218
Wind Uplift Rating	ASTM E1592 1.5" Mechanical Lock
Warranty	Based on Paint System
For more information	1.833.STEEL.US

* Grade 50

Version 5.1, 4/2021



Vented/Non-Vented Ridge Cap



Hip Ridge



W Valley



Transition -High to Low



Transition - Low to High



Open Prow Gable



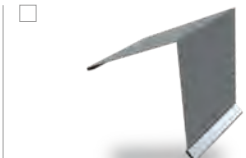
Mini Gable



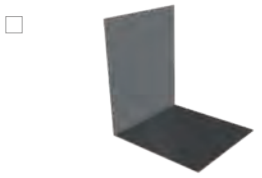
Eave



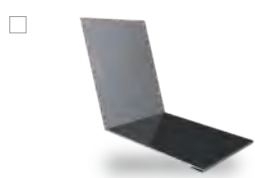
Style D Trim



Mini Top Cap



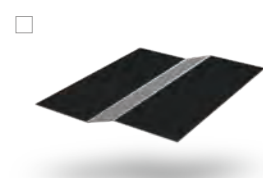
Sidewall



Endwall



Fascia



Offset Cleat



Z Metal





SALADO

Honest and Enduring





CONTENTS

Thin Stone Veneer 4-5

Architectural Cut 6-7

PATTERNS

Sonoma 8-9

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Hardscape 16-17

THE SALADO DIFFERENCE: PEOPLE. PRODUCTS. SERVICE.

Honest and Enduring: That's how our customers describe their relationships with our staff, our service and the stone materials we produce.

Our natural limestone and sandstone products are of the highest quality, meticulously crafted to our clients' most exacting standards and always competitively priced.

Our people are focused on building relationships with our clients. Characterized by their will-help attitude, our professional team is knowledgeable, dependable and committed to providing each client with exceptional service.

“Salado does it right or they make it right.”

At Salado, we bring quarries together to provide depth and variety in choice to architects, designers, materials specifiers, building, hardscape and landscape professionals, stone fabricators, and homeowners. We will work hard to have Salado become your preferred source for stone.

To start the conversation, give us a call at 254.793.3355 or email info@SaladoUSA.com.



STATION

THIN STONE VENEER

When you want the durability and beauty of natural stone, but not the weight, think natural stone thin veneer—and say goodbye to manmade products that can wear poorly over time.

One of Salado's most requested products, our natural thin stone veneer can be used anywhere in the country for both interiors or exteriors. When installed, it resembles much larger, heavier pieces of stone.

Our natural thin stone veneer is good for the environment—and it can be great for your bottom line, thanks to faster installation, reduced shipping costs and superior durability.

SPECS

Size: 1.25-1.5" thick

Coverage: 10-15 lbs./sq. ft. typical weight per square foot.



“The entire process is orchestrated so well.”

3100
ESPERANZA Cr

®

ARCHITECTURAL CUT

The details make all the difference in stonework, which is why the right architectural cut features—like headers, sills, caps, quoins, panels, window surrounds and paving—can elevate a design, taking it from so-so to sensational.

With architectural cut, sometimes referred to as dimensional cut stone, you specify the combination of height, length and thickness of the finished pieces. The stone is then manufactured to your exact specifications.

Want a unique look? Consider having us give the stone a finish such as brushed, honed or chatted.



Architectural Cut Linen



Almond



Cashmere



Ivory



Linen



Merlot



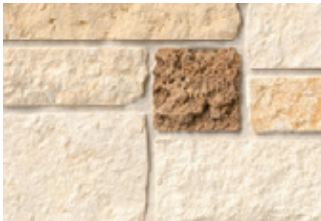
SONOMA PATTERN

Sonoma has a modern, linear look made up of squares and rectangles. Also known as sawn chop, sawn top and bottom, or wet sawed, it conveys a feeling of solidity, integrity and permanence.

SPECS

Size: Saw cut on top and bottom with chopped/split face. Heights are cut to specifications, typically 4-12" (under 4" available as ledgerstone, 12-16" options also available). Random broken/chopped lengths. Nominal 3-5" thickness.

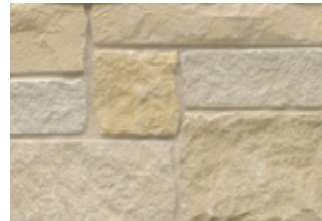
Coverage: 40-45 square feet per ton (approximate)



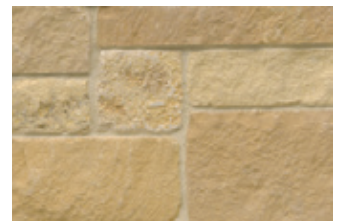
Alta



Autumn



Buff Lueders



Caramel



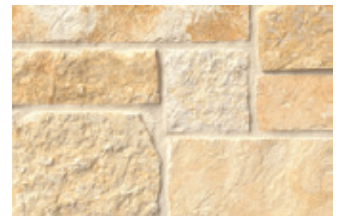
Cave



Charcoal



Cream



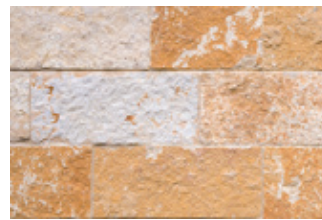
Gold



Latte



Light Antique



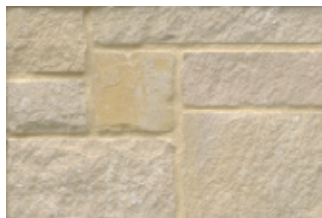
Lueders Roughback



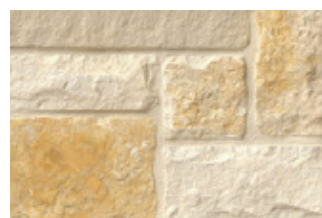
Matera



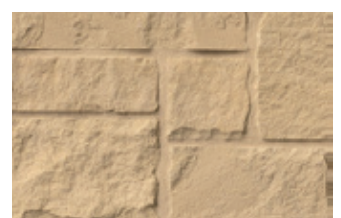
Red



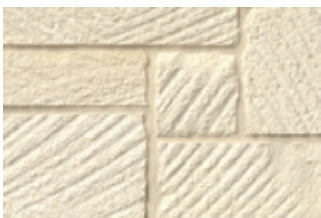
Sea Fossil



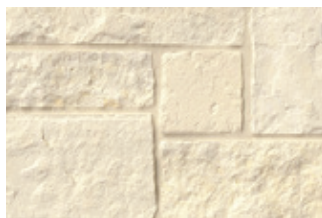
Sonoma Blend



Tan



Vermeer Saw



White



CHATEAU PATTERN

In this time-honored pattern, the stone comes in random shapes and sizes, and is sometimes referred to as flag, flagstone, builder, irregular builder, fieldstone or mosaic. Here the skill of the mason is shown off, as the stone is fit together like a puzzle.

SPECS

When installed as wall veneer:

Size: Typically the face is larger than a dinner plate, but smaller than a chair cushion; 3-5" thick.

Coverage: 40-45 square feet per ton (approximate)

When installed as natural patio stone:

Size: 2-3" thick (approximate)

Coverage: 75-80 square feet per ton (approximate)



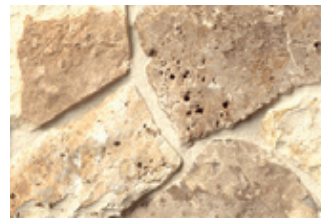
Gold



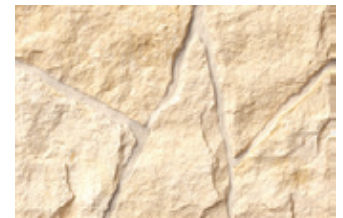
Autumn



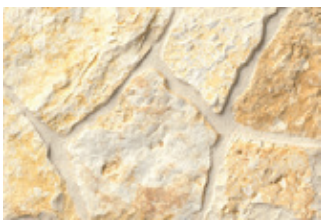
Balcones



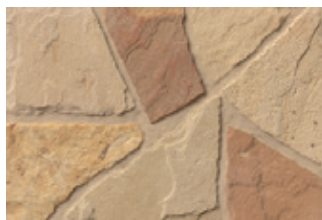
Brown



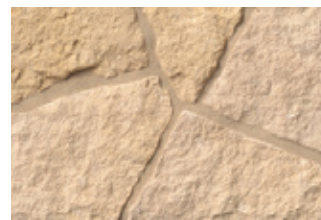
Cream



Gold



Hickory



Latte



Red



Tan



White



TUSCANY PATTERN

This classic pattern is hand-formed rough, rustic squares and rectangles in random heights and lengths. Sometimes referred to as chop, hand chop, field chop or rough chop, Tuscany provides a sense of history and underscores the handmade nature of traditional stonework.

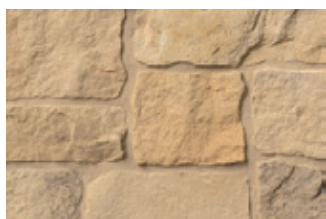
SPECS

Size: Random heights 3-8" tall (under 3" as ledgetone); square to rectangular widths; 3-5" thickness

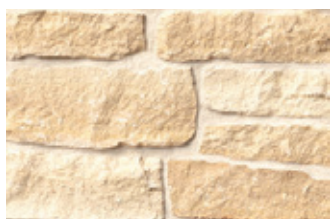
Coverage: 40-45 square feet per ton (approximate)



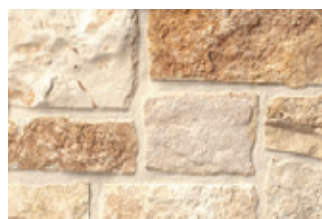
Tuscany White



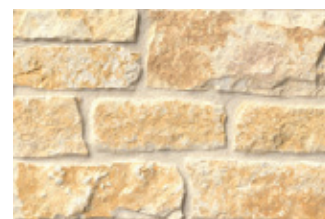
Autumn



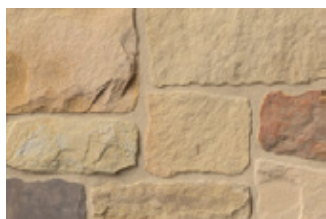
Balcones



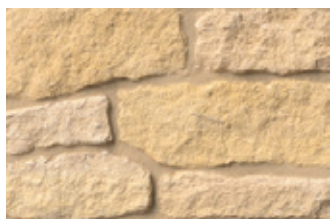
Brown



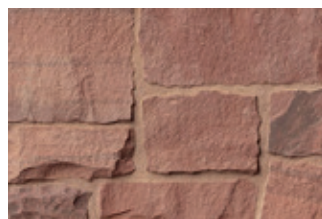
Gold



Hickory



Latte



Red



Tan



White





Sonoma Latte and Architectural Cut Cashmere

CUSTOM BLENDS: A MIX OF PATTERNS AND COLORS

Dream. Imagine. Create. Color outside the lines.

When you want something other than the usual, Salado offers endless varieties of limestone and sandstone cuts, colors, sizes, textures and finishes produced by nature that you can mix however you want. Go ahead: Create something that is uniquely yours.



Tuscany Hickory and Architectural Cut Almond



Architectural Cut White, Cream and Cave



Sonoma White and Architectural Cut Linen





Sonoma Buff Lueders

HARDSCAPE

The perfect complement to our building stone, Salado hardscaping stone's contrasting textures and colors add interest while still blending with the environment. Fountains, benches, retaining walls, pavers, accent boulders and sculptures are a few ways our stone can be part of a comprehensive landscape design. It is ideal for integrating outdoor living spaces, such as outdoor kitchens, pool surrounds and seating areas into the overall property design.



Architectural Cut White, Cream and Cave



Sonoma Blend

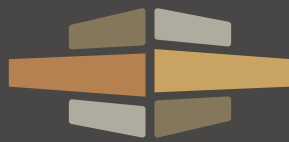


Architectural Cut Linen

12700

CEISOS
★
GRILL

CEISOS GRILL



SALADO

Honest and Enduring

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portfolio of completed installations.

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254.793.3355

3500 FM 2843, Florence, TX 76527

Building 1



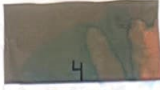
Buff Lueders



OLD TOWN GRAY
TSR 39.2 E. 84 SRI 42



OLD ZINC GRAY
TSR 37.1 E. 87 SRI 40



MOCHA
TSR 34.4 E. 83 SRI 35

Applicant Information

Hind Saad
HSG Engineering
13501 Katy Fwy Suite 3380
Houston, TX 77079
(713)783-7777
hind@hsgcompanies.com

Owner Information

Roy Bhavi
FlexSpace Business Parks LLC
835 Tillman Dr
Allen, TX 75013
(972)674-8933
roybhavi@flexspacebusinessparks.com

Rockwall FlexSpace Center
Case Number:

Buildings 2 and 3



Buff Lueders



OLD TOWN GRAY
TSR 39.2 E. 84 SRI 42



OLD ZINC GRAY
TSR 37.1 E. 87 SRI 40



MOCHA
TSR 34.4 E. 83 SRI 35

Applicant Information

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Owner Information

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835 Tillman Dr
Allen, TX 75013
(972)674-8933
roybhavi@flexspacebusinessparks.com

Rockwall FlexSpace Center
Case Number:

Buildings 4,5,6 and 7



Buff Lueders



OLD TOWN GRAY
TSR 39.2 E. 84 SRI 42



OLD ZINC GRAY
TSR 37.1 E. 87 SRI 40



MOCHA
TSR 34.4 E. 83 SRI 35

Applicant Information

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Rockwall FlexSpace Center
Case Number:



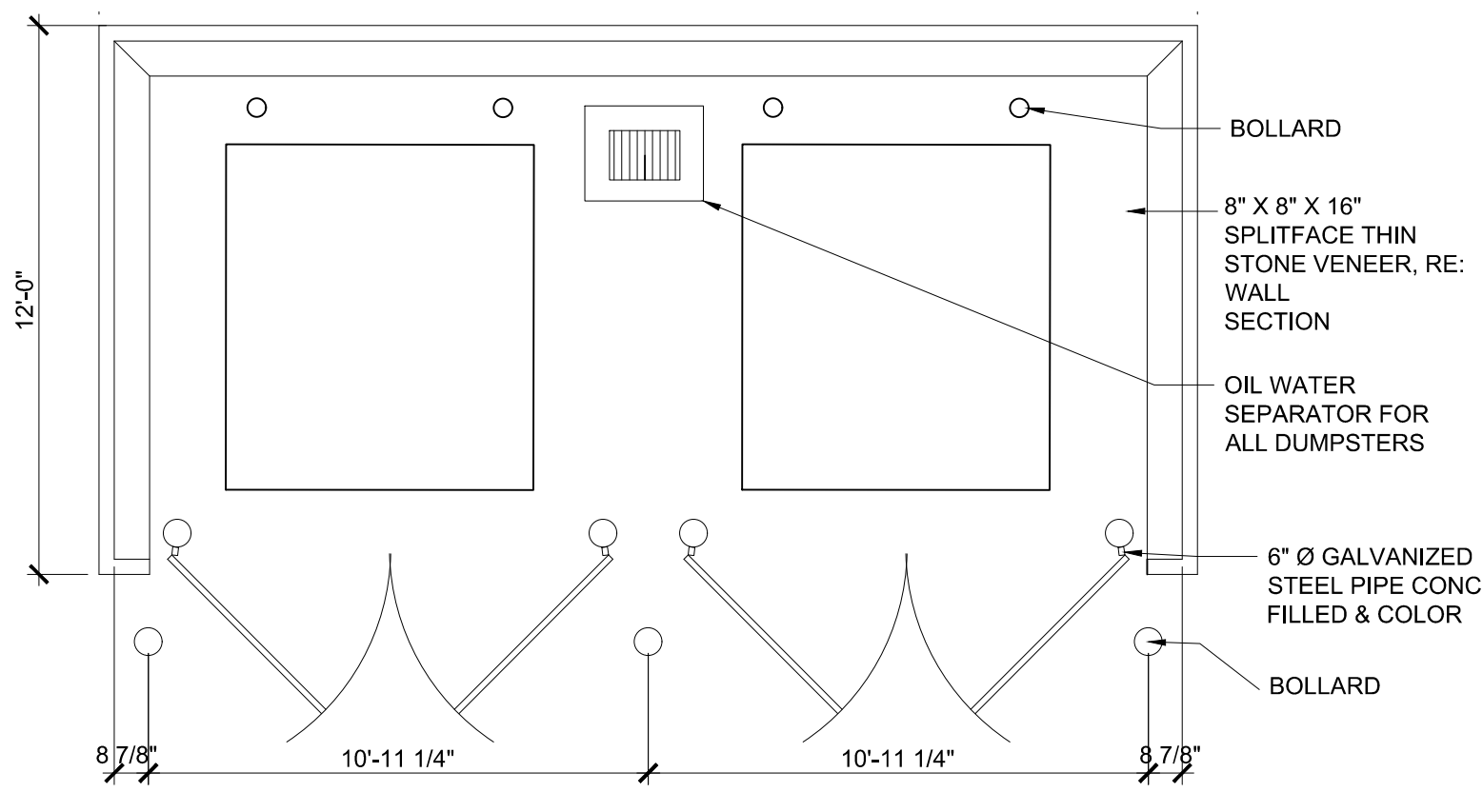
NO.	REVISIONS

ISSUE DATE: 08/07/23

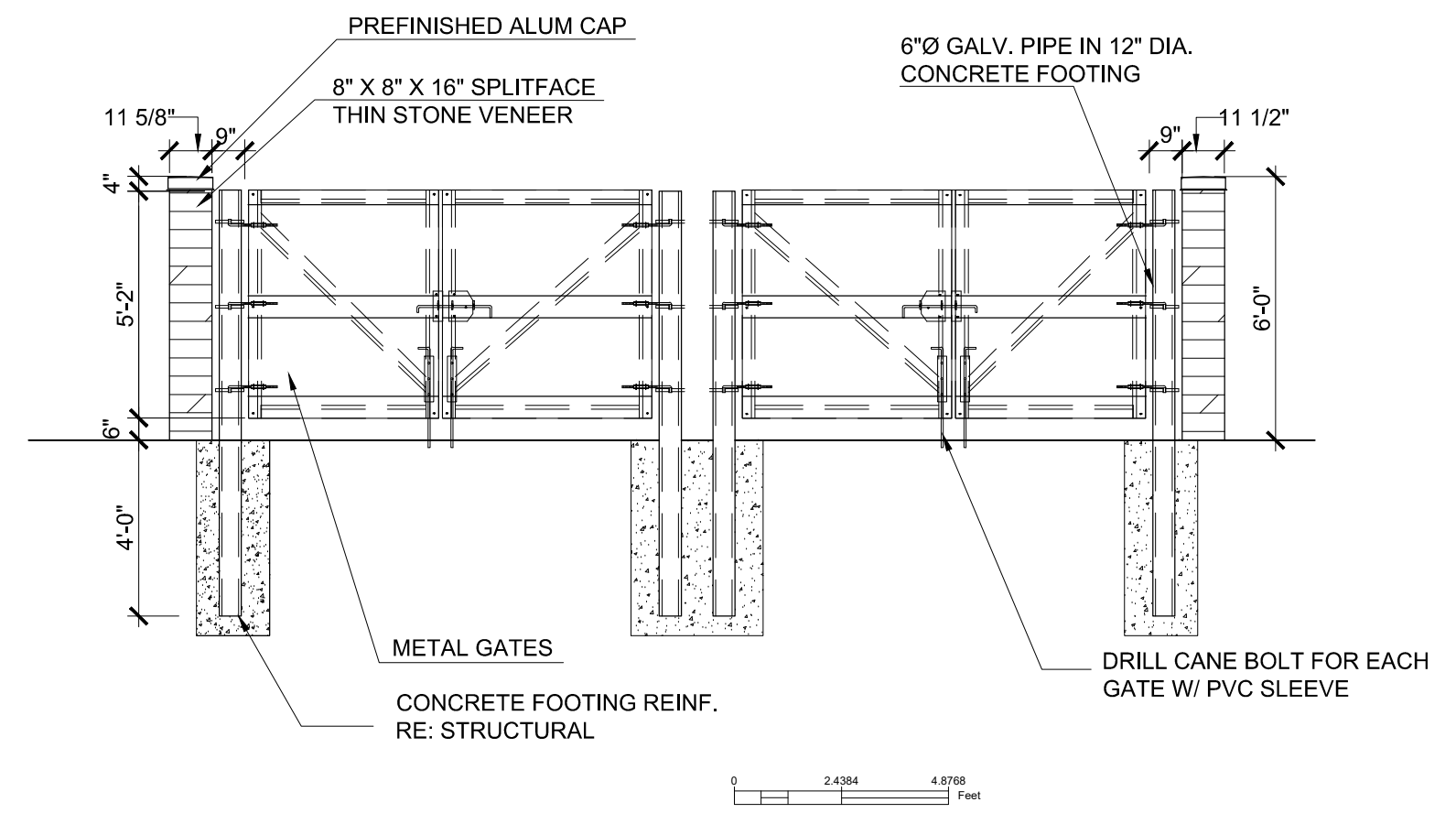
05/19/2023

DUMPSTER DETAIL

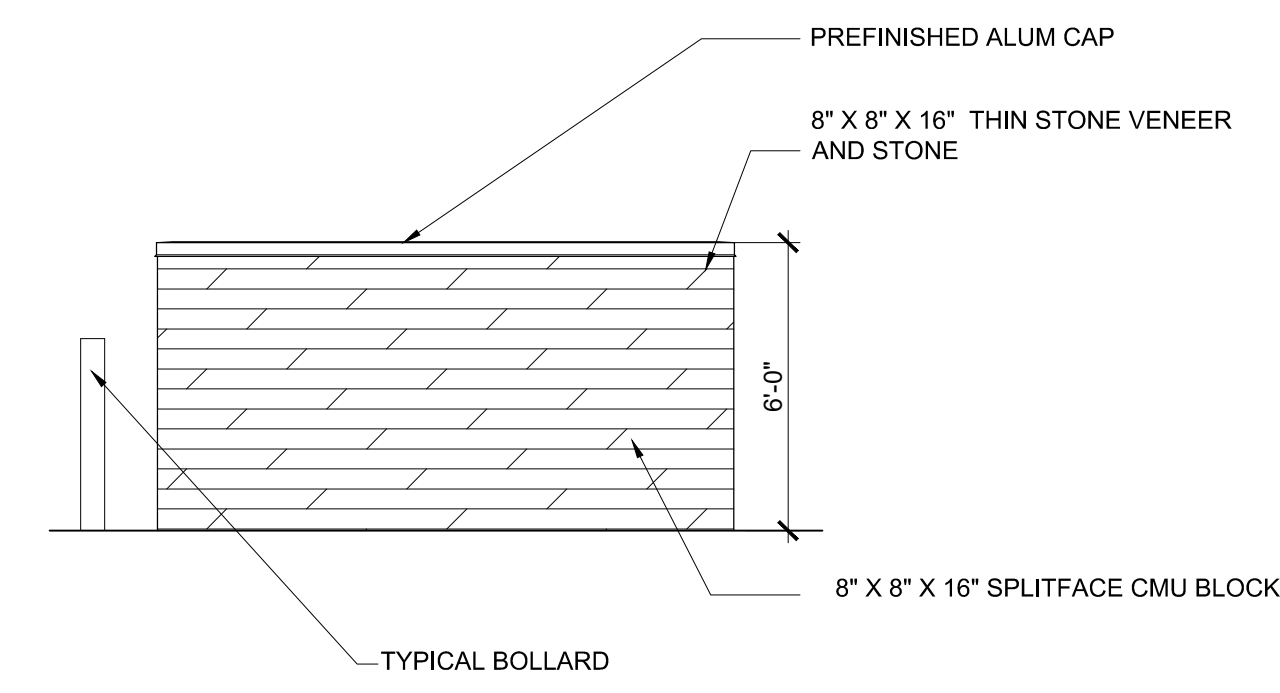
DRAWN BY:	CHECKED:
PROJECT No:	SHEET No.:
23420.02	A0.2



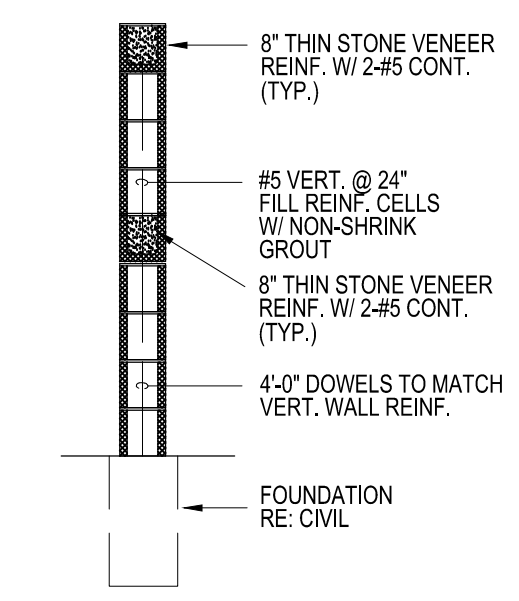
01 DUMPSTER PLAN
Scale 1/4" = 1'-0"



02 DUMPSTER FRONT ELEVATION
Scale 1/4" = 1'-0"



03 DUMPSTER RIGHT ELEVATION
Scale 1/4" = 1'-0"



04 DUMPSTER SECTION
Scale 3/8" = 1'-0"

GENERAL REFERENCE: SECTION 212.009 OF CHAPTER 212, MUNICIPAL REGULATION OF SUBDIVISIONS AND PROPERTY DEVELOPMENT, OF THE TEXAS LOCAL GOVERNMENT CODE

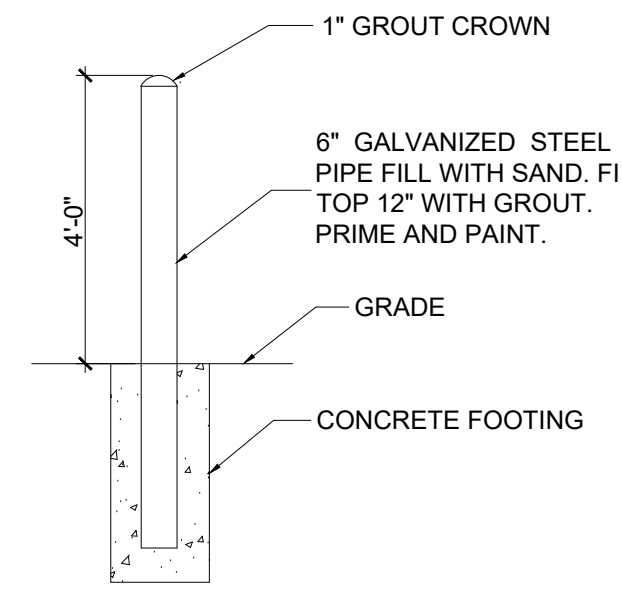
SITE PLAN SIGNATURE BLOCK

APPROVED:
I hereby certify that the above and foregoing site plan for a development in the City of Rockwall, Texas, was approved by the Planning & Zoning Commission of the City of Rockwall on the [DAY] day of [MONTH], [YEAR].

WITNESS OUR HANDS, this ____ day of _____, 2023.

Planning & Zoning Commission, Chairman

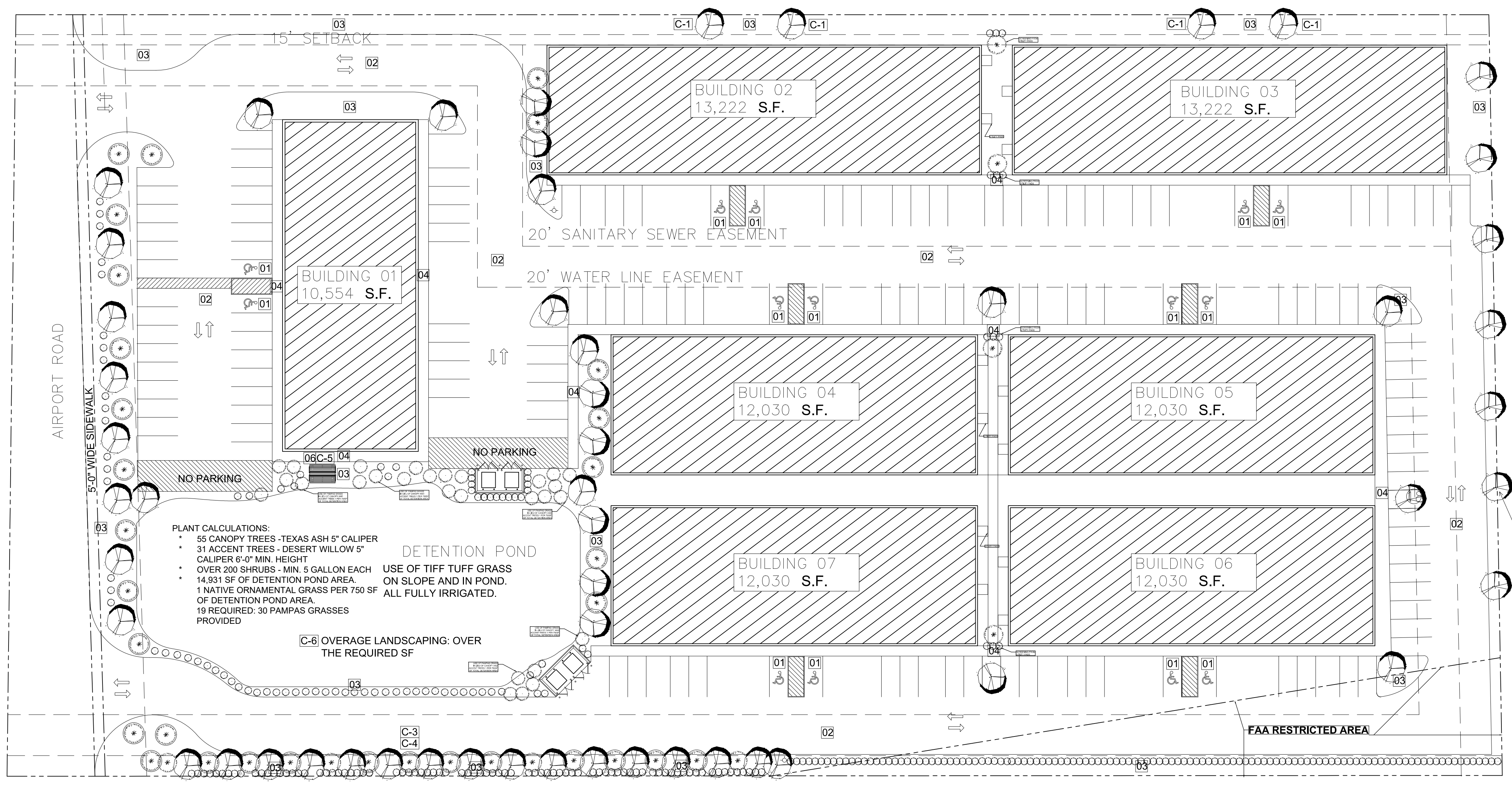
Director of Planning and Zoning



05 TRASH ENCLOSURE BOLLARD
Scale 3/8" = 1'-0"

GENERAL NOTES

- FOR DUMPSTER ENCLOSURE REFER STRUCTURAL DRAWINGS
- FOR SLAB FINISHED GRADES, SEE GRADING PLAN.
- ALL WOOD FOR GATES IS TO BE THRU-BOLTED TO TUBE FRAME WITH 3/8" GALVANIZED BOLTS AND HARDWARE.
- DUMPSTER ENCLOSURE MATERIAL: THIN STONE VENEER



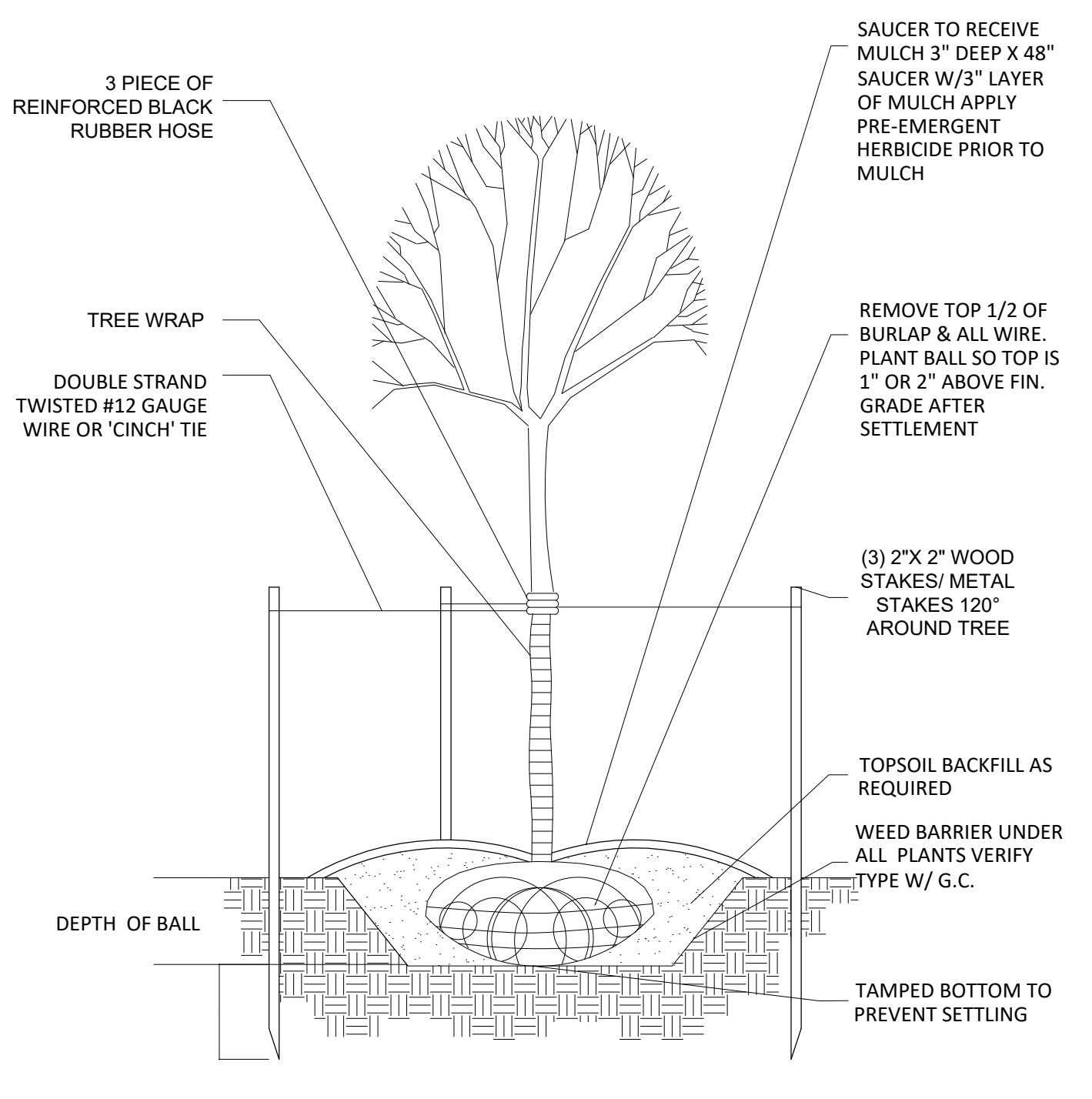
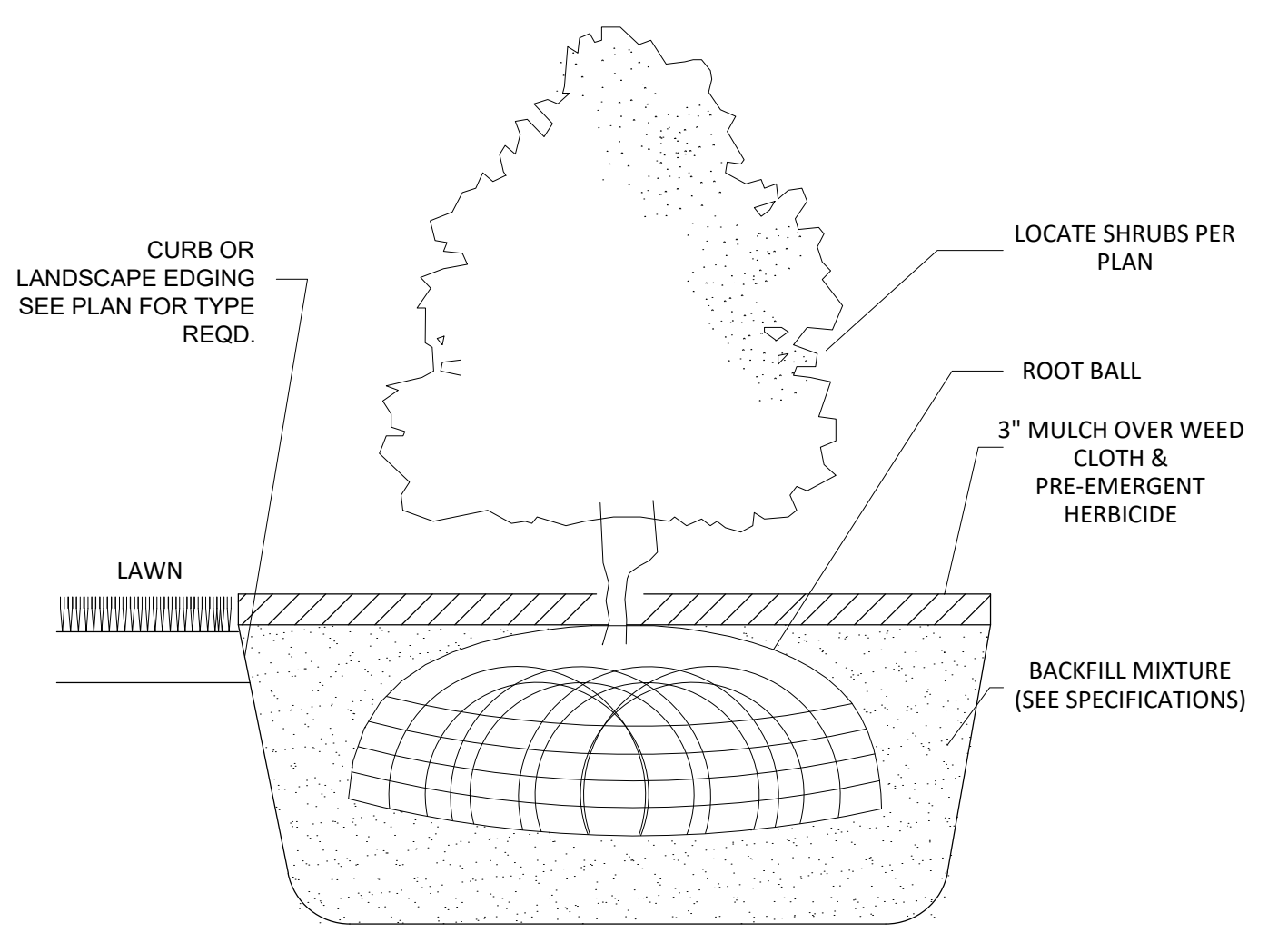
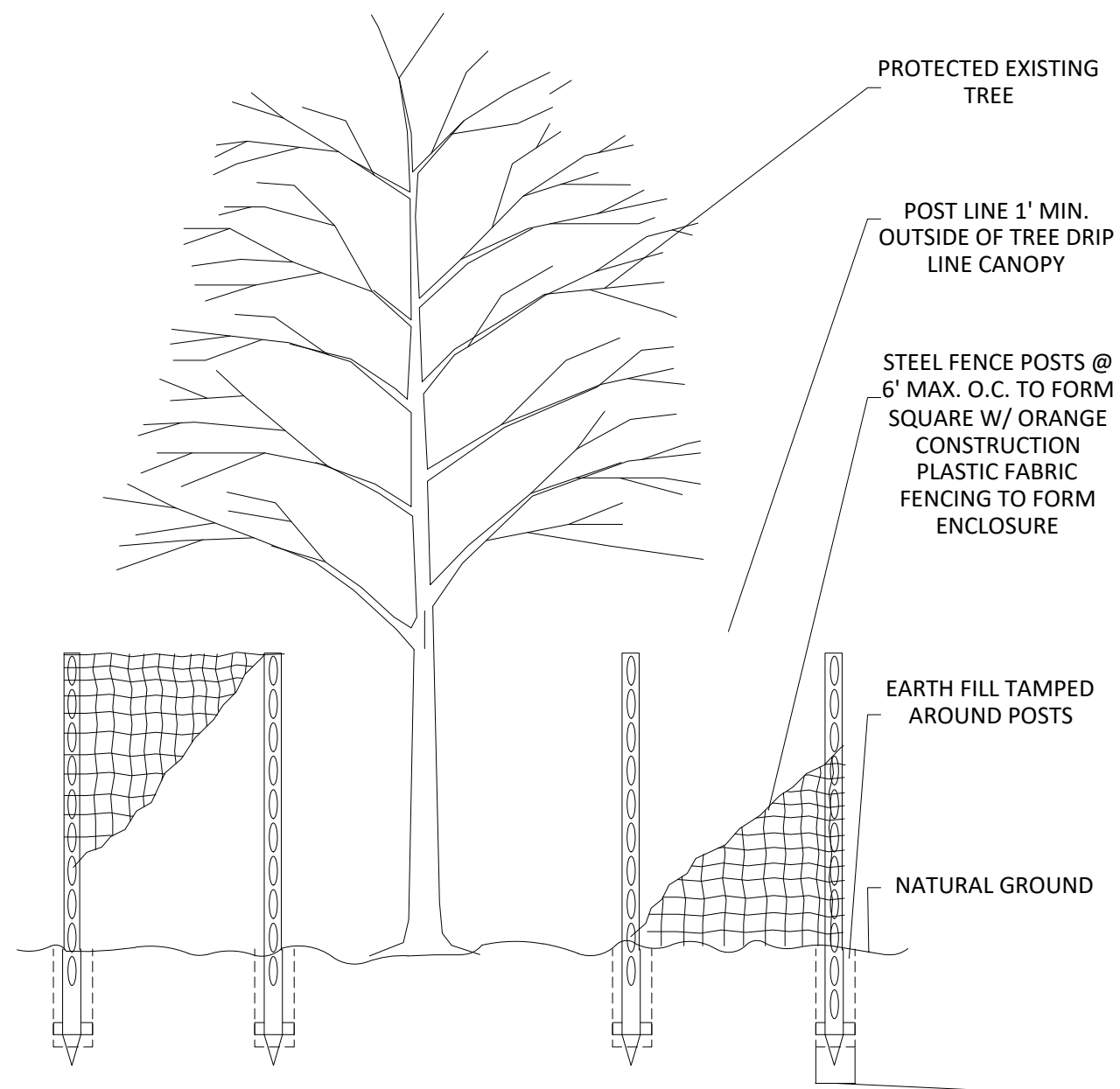
PLANT CALCULATIONS:

- 55 CANOPY TREES - TEXAS ASH 5" CALIPER
- 31 ACCENT TREES - DESERT WILLOW 5" CALIPER 6'-0" MIN. HEIGHT
- OVER 200 SHRUBS - MIN. 5 GALLON EACH
- 14,931 SF OF DETENTION POND AREA
- 1 NATIVE ORNAMENTAL GRASS PER 750 SF OF DETENTION POND AREA.
- 19 REQUIRED: 30 PAMPAS GRASSES PROVIDED

USE OF TIFF TUFF GRASS ON SLOPE AND IN POND. ALL FULLY IRRIGATED.

01 SITE PLAN
Scale 1/32" = 1' - 0"

TYPE	SPECIES	SIZE OF PLANTING	QUANTITY
CANOPY	TEXAS ASH	4" CALIPER	55
CANOPY	TEXAS ASH	5" CALIPER IN 3-TIERED AREAS	
ACCENT	DESERT WILLOW	4 FOOT IN HEIGHT	31
SHRUB	BURFORD HOLLY	5 GALLON	200+
ORNAMENTAL GRASS	PAMPAS GRASS	5 GALLON	30



GENERAL REFERENCE: SECTION 212.009 OF CHAPTER 212, MUNICIPAL REGULATION OF SUBDIVISIONS AND PROPERTY DEVELOPMENT, OF THE TEXAS LOCAL GOVERNMENT CODE

SITE PLAN SIGNATURE BLOCK

APPROVED:
I hereby certify that the above and foregoing site plan for a development in the City of Rockwall, Texas, was approved by the Planning & Zoning Commission of the City of Rockwall on the [DAY] day of [MONTH], [YEAR].

WITNESS OUR HANDS, this _____ day of _____, 2023.

Planning & Zoning Commission, Chairman

Director of Planning and Zoning

SYMBOL LEGEND

- CANOPY TREE - TEXAS ASH
- ACCENT TREE - DESERT WILLOW OR EASTERN REDBUD
- PAMPAS GRASS
- SHRUB
- PUBLIC BENCH

- KEYED NOTES**
- 01 - HANDICAP SYMBOL & SIGN
 - 02 - PAVING
 - 03 - LANDSCAPING
 - 04 - SIDEWALK SAME LEVEL / ACCESSIBLE ROUTE
 - 05 - DUMPSTER
 - C-1 - 2 CANOPY TREES PROVIDED: COMPENSATORY MEASURE
 - C-2 - 2 CANOPY TREES PROVIDED: COMPENSATORY MEASURE
 - C-3 - 3 TIER SCREENING: COMPENSATORY MEASURE
 - C-4 - 5" CALIPER CANOPY TREES: COMPENSATORY MEASURE
 - C-5 - PUBLIC BENCH: COMPENSATORY MEASURE
 - C-6 - OVERAGE LANDSCAPING (OVER REQUIRED SF): COMPENSATORY MEASURE

IMPERVIOUS COVERAGE

TOTAL PROPERTY AREA: 269,076 SF
 TOTAL IMPERVIOUS COVER: 205,736 SF
 TOTAL PERVIOUS COVER: 63,340 SF
 TOTAL % OF IMPERVIOUS COVER: 76.46%

- NOTES**
- CONTRACTOR SHALL APPLY FOR AND PROCURE ALL REQUIRED PERMITS TO COMMENCING WORK.
 - CONTRACTOR SHALL LOCATE ALL UNDERGROUND UTILITIES PRIOR TO COMMENCING WORK. CONTACT UTILITIES COMPANIES MINIMUM 48 HOURS PRIOR TO ANY WORK. CONTRACTOR SHALL BE RESPONSIBLE FOR BECOMING FAMILIAR WITH ALL UNDERGROUND UTILITIES, PIPES, STRUCTURES, ETC. CONTRACTOR SHALL TAKE SOLE RESPONSIBILITY FOR ANY COST INCURRED DUE TO DAMAGE OF THESE UTILITIES.
 - CONTRACTOR SHALL NOT WILLFULLY PROCEED WITH CONSTRUCTION AS DESIGN WHEN IT IS OBVIOUS THAT UNKNOWN OBSTRUCTIONS AND/OR GRADE DIFFERENCES EXIST THAT MAY NOT HAVE BEEN FORESEEN IN THE DESIGN. SUCH CONDITIONS SHALL BE BROUGHT UP TO THE OWNERS REPRESENTATIVE. THE CONTRACTOR SHALL ASSUME FULL REASONABILITY FOR ANY NECESSARY CHANGES DUE TO FAILURE TO GIVE SUCH NOTIFICATION.
 - CONTRACTOR SHALL COORDINATE ALL WORK WITH OTHER SUBCONTRACTORS ON THE JOBSITE AS REQUIRED TO COMPLETE CONSTRUCTION.
 - CONTRACTOR TO PROVIDE SAMPLES OF EACH SHRUB AND GROUND COVER SPECIES OR NURSERY SOURCE FOR APPROVAL BY LANDSCAPE DESIGNER PRIOR TO INSTALLATION. ALL PLANTS ARE TO BE SPECIMEN QUALITY. FULL POT AND HEAD, SYMMETRICAL FOLIAGE AND BRANCHING STRUCTURE. SHRUBS SHALL BE FULL TO GROUND. PLANT MATERIAL OF THE SAME SPECIES SHALL BE OBTAINED FROM THE SAME SOURCE. MATERIAL SHALL BE SHIPPED DIRECTLY FROM NURSERY AND NOT FROM CONTRACTOR'S HOLDING YARD AFTER AN EXTENDED PERIOD.
 - CONTRACTORS SHALL BE RESPONSIBLE FOR QUANTITIES ON PLAN SHOWN BY SYMBOLS. THE PURPOSE IS FOR CONVENIENCE ONLY.
 - ALL PARKING SPACES WITHIN 80' OF A CANOPY TREE.

- GENERAL LANDSCAPE NOTES**
- ALL PLANTS SHALL BE FULL POT AND HEAD. SYMMETRICAL FOLIAGE AND BRANCHING STRUCTURE.
 - CONTRACTOR SHALL LOCATE ALL UNDERGROUND UTILITIES PRIOR TO EXCAVATION OR TRENCHING. CONTRACTOR SHALL BE RESPONSIBLE FOR PREPARING OR REPLACING ANY DAMAGE TO UTILITIES OR OTHER IMPROVEMENTS.
 - GRADE SURFACE TO ENSURE AREAS DRAIN AWAY FROM STRUCTURES AND TO PREVENT PONDING AND POCKETS OF SURFACE DRAINAGE SPREAD AIR AVERAGE OF 1" SHARP SAND OVER ENTIRE AREA TO BE SOLID SODDED. HAND RAKE ENTIRE AREA PRIOR TO SODDING. OBTAIN OWNER'S REPRESENTATIVE'S APPROVAL OF GRADE PRIOR TO SODDING.
 - CONVENTIONAL SYSTEM. AN AUTOMATIC IRRIGATION PLAN WILL BE PROVIDED AND PERMITTED BY LANDSCAPE CONTRACTOR BASED ON ROCKWALL CITY UDC REGULATIONS.
 - ALL AREAS NOT COVERED WITH CONCRETE SHALL BE SOD WITH (SAN AGUSTIN)
 - ALLOW FOR FINISHED GRADE AT EDGE OF WALKS AND CURBS TO BE A MINIMUM OF 1" TO 1 1/2" BELOW TOP OF SIDEWALK AND CURBS AREAS SO GRASS WILL NOT HOLD WATER ON WALK AND SHALL BE CONSISTENT ALONG EDGE.
 - LANDSCAPE CONTRACTOR TO COORDINATE AND SCHEDULE HIS WORK WITH OTHER CONTRACTORS WORKING ON THE PROJECT SITE.
 - GENERAL CONTRACTOR TO PROTECT ALL EXISTING TREES TO REMAIN.
 - ALL LANDSCAPE BEDS SHALL BE RAISED TO PROVIDE ADEQUATE DRAINAGE
 - AFTER PLANTS/TREES HAVE BEEN INSTALLED PROVIDE AND INSTALL MULCH TO ALL LANDSCAPE BEDS.

LANDSCAPE CALCULATIONS

SITE AREA: 6.18 A.C.
 15% LANDSCAPING FRONT LOT: 40,380 SF MIN / 41,376 SF PROVIDED

STREET TREES REQUIRED: 1 TREE PER 50'-0" OF STREET FRONTAGE	
FRONTAGE ROAD 372' LF. CANOPY TREE	10 STREET TREES
FRONTAGE ROAD 372' LF. ACCENT TREE	18 STREET TREES
TOTAL STREET TREES PROVIDED	16 STREET TREES

FRONTAGE SHRUBS	
TOTAL SHRUBS PROVIDED	17 STREET SHRUBS

Berms and shrubbery shall have a total minimum height of 30-inches.

PARKING LOT TREES REQUIRED: 1 LARGE TREE FOR EACH 10 SPACES.	
110 SPACES / 10	12 PKNG. LOT TREES
TOTAL PARKING LOT TREES PROVIDED	17 PKNG. LOT TREES

LANDSCAPE SCREENING REQUIRED: 1 TREE PER 20'-0"	
87' LF. CANOPY TREE	5 STREET TREES
87' LF. ACCENT TREE	5 STREET TREES
TOTAL STREET TREES PROVIDED	10 STREET TREES

SCREENING SHRUBS PER AIRPORT REGULATION	
TOTAL SHRUBS PROVIDED	155 STREET SHRUBS

Berms and shrubbery shall have a total minimum height of 30-inches.

LANDSCAPE EASEMENT 10'-0"	
CANOPY TREE	22 STREET TREES

RS&G ENGINEERING

13501 KATY FREEWAY
 SUITE 3180
 HOUSTON, TEXAS 77079
 PH. 713-783-7777

project
ROCKWALL OFFICES WAREHOUSES
 at
 0 AIRPORT ROAD
 ROCKWALL, TX 75087

REVISIONS

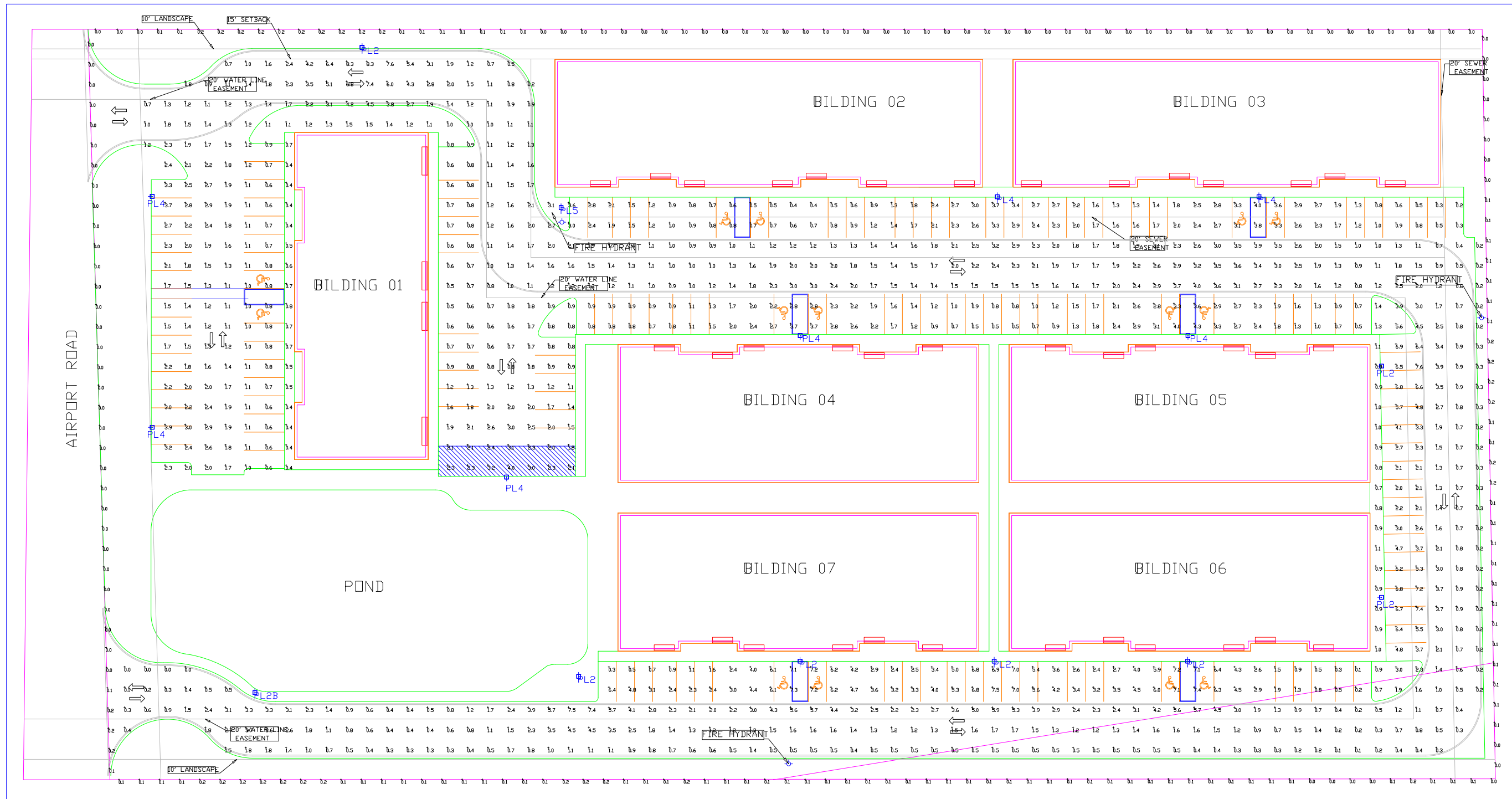
ISSUE DATE: 08/07/23

05/19/2023

LANDSCAPE

DRAWN BY: _____ CHECKED: _____

PROJECT No: 23420.02 SHEET No: A0.3



Luminaire Schedule							
Symbol	Label	Qty	Arrangement	Lum. Lumens	Lum. Watts	LLF	Description
□	PL2	7	Single	15594	151	0.950	Lumark PRV-PA2B-740-VOLT-T2R-HSS-FINISH
□	PL2B	1	Single	7815	74	0.950	Lumark PRV-PA1B-740-VOLT-T2R-HSS-FINISH
□	PL4	7	Single	14072	151	0.950	Lumark PRV-PA2B-740-VOLT-T4W-HSS-FINISH
□	PL5	1	Single	20332	151	0.950	Lumark PRV-PA2B-740-VOLT-5W0-FINISH

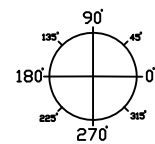
Calculation Summary							
Label	CalcType	Units	Avg	Max	Min	Avg/Min	Max/Min
Property Line - Ground	Illuminance	Fc	0.07	0.2	0.0	N.A.	N.A.
SITE Paved Parking - Ground	Illuminance	Fc	1.90	8.3	0.0	N.A.	N.A.

Luminaire Location Summary	
Label	Mounting HT
PL2	22.5(30in Base Included)
PL2B	22.5(30in Base Included)
PL4	22.5(30in Base Included)
PL5	22.5(30in Base Included)

Peterson, Scharck & Assoc. / Keith Peterson / 08-08-23

Luminaire data is obtained according to IES procedures under laboratory conditions. Field results may differ from computer model due to many factors, including: ambient temperature, line voltage variations, lamp performance, installation, reflectances, and other site specific conditions.

**DRAWINGS FOR REVIEW ONLY
DO NOT USE AS CONSTRUCTION DOCUMENTS**



Peterson, Scharck, & Associates, Inc.

10855 Tanner Rd.
Houston, TX 77041
applications@psalighting.com

XXX
XXX

Rockwall
Flexspace Center
- Site Ltg

08-08-23
SR

Project		Catalog #		Type	
Prepared by		Notes		Date	



Lumark

Prevail Discrete LED

Area / Site Luminaire

Product Features



Product Certifications



Interactive Menu

- Ordering Information page 2
- Mounting Details page 3, 4
- Optical Configurations page 5
- Product Specifications page 5
- Energy and Performance Data page 6, 7
- Control Options page 8

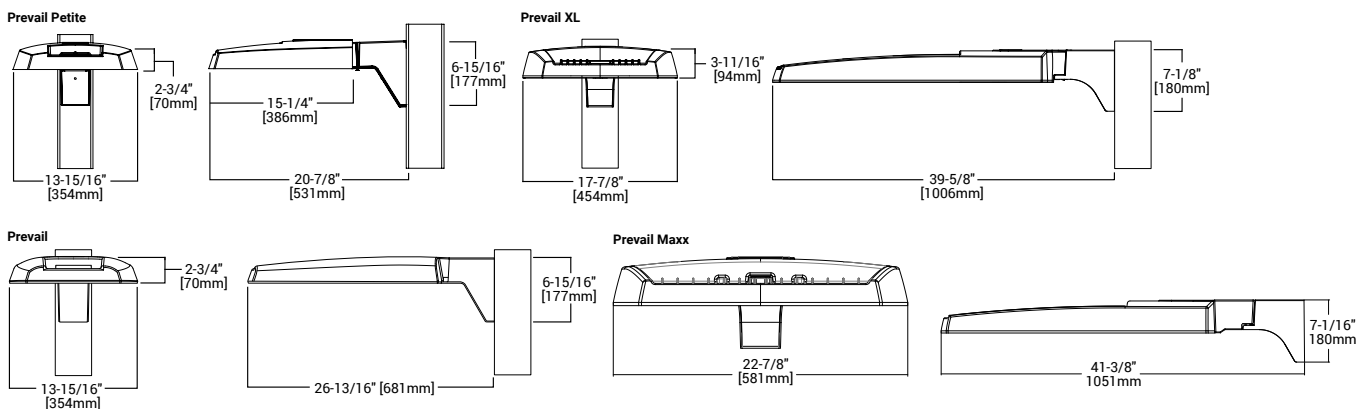
Quick Facts

- Direct-mounted discrete light engine for improved optical uniformity and visual comfort
- Lumen packages range from 4,300 - 68,000 nominal lumens (30W - 550W)
- Replaces 70W up to 1,000W HID equivalents
- Efficacies up to 157 lumens per watt
- Standard universal quick mount arm with universal drill pattern

Connected Systems

- WaveLinX

Dimensional Details




NOTES:
 1. Visit <https://www.designlights.org/search/> to confirm qualification. Not all product variations are DLC qualified.
 2. IDA Certified for 3000K CCT and warmer only.

Ordering Information

SAMPLE NUMBER: PRV-XL-PA4B-740-U-T4W-BZ

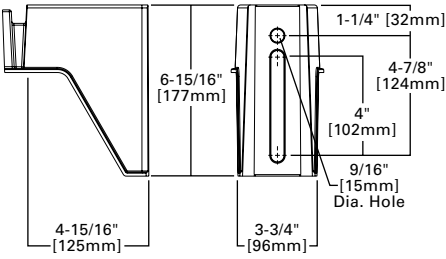
Product Family ^{1,2}	Light Engine		Color Temperature	Voltage	Distribution	Mounting (Included)	Finish								
	Configuration	Drive Current ⁴													
PRV-P=Prevail Petite BAA-PRV-P=Prevail Petite BAA Buy American Act Compliant ³ TAA-PRV-P=Prevail Petite TAA Trade Agreements Act Compliant ³	PA1=1 Panel, 24 LED Rectangle	A=400mA Nominal B=700mA Nominal C=950mA Nominal D=1200mA Nominal	740=70CRI, 4000K 730=70CRI, 3000K 750=70CRI, 5000K	U=Universal, 120-277V H=High Voltage, 347-480V 9=347V 8=480V ⁵ DV=DuraVolt, 277-480V ^{5,6}	T2R=Type II Roadway T2U=Type II Urban T3=Type III T4W=Type IV Wide 5WQ=Type V Square Wide	SA=QM Standard Versatile Arm MA=QM Mast Arm FMA=Fixed Mast Arm ²⁸ WM=QM Wall Mount Arm ADJA-WM= Adjustable Arm - Wall Mount ³⁰ ADJA=Adjustable Arm - Pole Mount ³⁰ ADJS=Adjustable Arm - Slipfitter, 3" vertical tenon ³⁰ SP2=Adjustable Arm - Slipfitter, 2 3/8" vertical tenon ^{28, 30}	AP=Grey BZ=Bronze BK=Black DP=Dark Platinum GM=Graphite Metallic WH=White								
PRV=Prevail BAA-PRV=Prevail BAA Buy American Act Compliant ³ TAA-PRV=Prevail TAA Trade Agreements Act Compliant ³	PA1=1 Panel, 24 LED Rectangle PA2=2 Panels, 48 LED Rectangles	A=700mA Nominal B=950mA Nominal													
PRV-XL=PRV XL BAA-PRV-XL=Prevail XL BAA Buy American Act Compliant ³ TAA-PRV-XL=Prevail XL TAA Trade Agreements Act Compliant ³	PA3=3 Panels, 72 LED Rectangles PA4=4 Panels, 96 LED Rectangles	A=750mA Nominal B=950mA Nominal													
PRV-M=Prevail Maxx BAA-PRV-M=Prevail Maxx BAA Buy American Act Compliant ³ TAA-PRV-M=Prevail Maxx TAA Trade Agreements Act Compliant ³	PA6= 6 Panels, 144 LED Rectangles	A=600mA Nominal B=800mA Nominal C=1000mA Nominal D=1200mA Nominal													
Options (Add as Suffix)				Accessories (Order Separately) ^{20, 21}											
<p>10K=10kV UL 1449 Fused Surge Protective Device 20MSP=20kV MOV Surge Protective Device 20K=20kV UL 1449 Fused Surge Protective Device L90=Optics Rotated 90° Left R90=Optics Rotated 90° Right CC=Coastal Construction Finish ³¹ HSS=House Side Shield (Factory Installed) ⁷ HA=50°C High Ambient Temperature ⁸ PR=NEMA 3-PIN Twistlock Photocontrol Receptacle ¹⁰ PR7=NEMA 7-PIN Twistlock Photocontrol Receptacle ¹⁰ MS/DIM-L08=Motion Sensor for Dimming Operation, Up to 8' Mounting Height ^{11, 12, 13, 22} MS/DIM-L20=Motion Sensor for Dimming Operation, 9' - 20' Mounting Height ^{11, 12, 13, 28, 29} MS/DIM-L40=Motion Sensor for Dimming Operation, 21' - 40' Mounting Height ^{11, 12, 13} SPB1=Motion Sensor for Dimming Operation, BLE Interface, Up to 8' Mounting Height ^{11, 14, 22} SPB2=Motion Sensor for Dimming Operation, BLE Interface, 8' - 20' Mounting Height ^{11, 14, 28, 29} SPB4=Motion Sensor for Dimming Operation, BLE Interface, 21' - 40' Mounting Height ^{11, 14, 29} ZW=Wavelinx-enabled 4-PIN Twistlock Receptacle ^{11, 12} ZD=DALI-enabled 4-PIN Twistlock Receptacle ^{11, 12}</p>				<p>ZW-SWPD4XX=Wavelinx Pro, Dimming Motion and Daylight, WAC Programmable, 7' - 15' Mounting Height ^{11, 12, 15, 16, 17, 22} ZW-SWPD5XX=Wavelinx Pro, Dimming Motion and Daylight, WAC Programmable, 15' - 40' Mounting Height ^{11, 12, 15, 16, 17, 28, 29} ZD-SWPD4XX=Wavelinx Pro, SR Driver, Dimming Motion and Daylight, 7' - 15' Mounting Height ^{11, 12, 15, 16, 17, 22} ZD-SWPD5XX=Wavelinx Pro, SR Driver, Dimming Motion and Daylight, 15' - 40' Mounting Height ^{11, 12, 15, 16, 17, 28, 29} (See Table Below)=LumenSafe Integrated Network Security Camera ^{18, 19}</p>				<p>PRVSA-XX=Standard Arm Mounting Kit ²² PRVMA-XX=Mast Arm Mounting Kit ²² PRVWM-XX=Wall Mount Kit ²² PRV-ADJA-XX=Adjustable Arm - Pole Mount Kit ²² PRV-ADJS-XX=Adjustable Arm - Slipfitter Kit ²² PRV-ADJA-WM-XX=Adjustable Arm - Wall Mount Kit ²² PRVXLSA-XX=Standard Arm Mounting Kit ²⁹ PRVXLMMA-XX=Mast Arm Mounting Kit ²⁹ PRVXLWM-XX=Wall Mount Kit ²⁹ PRV-XL-ADJA-XX=Adjustable Arm - Pole Mount Kit ²⁹ PRV-XL-ADJA-WM-XX= Adjustable Arm - Wall Mount Kit ²⁹ PRV-XL-ADJS-XX= Adjustable Arm - Slipfitter Kit ²⁹ PRV-M-ADJA-XX=Adjustable Arm - Pole Mount Kit ²⁸ PRV-M-ADJS-XX=Adjustable Arm - Slipfitter Kit ²⁸ PRV-M-ADJA-WM-XX=Adjustable Arm - Wall Mount Kit ²⁸ MA1010-XX=Single Tenon Adapter for 3-1/2" O.D. Tenon MA1011-XX=2@180° Tenon Adapter for 3-1/2" O.D. Tenon</p>				<p>MA1017-XX=Single Tenon Adapter for 2-3/8" O.D. Tenon MA1018-XX=2@180° Tenon Adapter for 2-3/8" O.D. Tenon SRA238=Tenon Adapter from 3" to 2-3/8" PRV/DIS-FDV=Full Drop Visor ²³ PRVXL/DIS-FDV=Full Drop Visor ¹⁸ HSS-VP=House Side Shield Kit, Vertical Panel ^{7, 24} HSS-HP=House Side Shield Kit, Horizontal Panel ^{7, 24} VGS-ARCH= Panel Drop Shield, Short VGL-ARCH= Panel Drop Shield, Long OA/RA1013=Photocontrol Shorting Cap OA/RA1014=NEMA Photocontrol - 120V OA/RA1016=NEMA Photocontrol - Multi-Tap 105-285V OA/RA1201=NEMA Photocontrol - 347V OA/RA1027=NEMA Photocontrol - 480V FSIR-100=Wireless Configuration Tool for Occupancy Sensor ²⁵ WOLC-7P-10A=Wavelinx Outdoor Control Module (7-PIN) ²⁷ SWPD4-XX=Wavelinx Wireless Sensor, 7' - 15' Mounting Height ^{15, 16, 17, 22, 28} SWPD5-XX=Wavelinx Wireless Sensor, 15' - 40' Mounting Height ^{15, 16, 17, 26, 28, 29}</p>			
<p>NOTES:</p> <ol style="list-style-type: none"> DesignLights Consortium® Qualified. Refer to www.designlights.org Qualified Products List under Family Models for details. Customer is responsible for engineering analysis to confirm pole and fixture compatibility for applications. Refer to installation instructions and pole white paper WP513001EN for additional support information. Only product configurations with these designated prefixes are built to be compliant with the Buy American Act of 1933 (BAA) or Trade Agreements Act of 1979 (TAA), respectively. Please refer to DOMESTIC.PREFERENCES website for more information. Components shipped separately may be separately analyzed under domestic preference requirements. Nominal drive currents shown here. For actual drive current by configuration, refer to Power and Lumens tables. 480V not to be used with ungrounded or impedance grounded systems. DuraVolt drivers feature added protection from power quality issues such as loss of neutral, transients and voltage fluctuations. Visit www.signify.com/duravolt for more information. House Side Shield not for use with 5WQ distribution. Not available with PA1D light engine in Petite housing (PRV-P). Coastal construction finish salt spray tested to over 5,000-hours per ASTM B117, with a scribe rating of 9 per ASTM D1654. If High Voltage (H) or DuraVolt (DV) is specified, use a photocontrol that matches the input voltage used. Controls system is not available in combination with a photocontrol receptacle (PR or PR7) or another controls system (MS, SPB, ZD, or ZW). Option not available with High Voltage (H) or DuraVolt (DV). Must specify Universal (U), 347V (9), or 480V (8) voltage. Utilizes the Wattstopper sensor FSP-211. Sensor color white unless specified otherwise via PDR. To field-configure, order FSIR-100 accessory separately. Utilizes the Wattstopper sensor FSP-3XX series. Sensor color determined by product finish. See Sensor Color Reference Table. Field-configures via mobile application. See Controls section for details. Sensor passive infrared (PIR) may be overly sensitive when operating below -20°C (-4°F). In order for the device to be field-configurable, requires WAC Gateway components WAC-PoE and WPOE-120 in appropriate quantities. Only compatible with WaveLinx system and software and requires system components to be installed for operation. See website for more Wavelinx application information. Replace XX with sensor color (WH, BZ or BK). Not available in PRV-XL configurations. Not available with High Voltage (H, DV, 8 or 9) or HA options. Consult LumenSafe system product pages for additional details and compatibility information. Replace XX with paint color. For BAA or TAA requirements, Accessories sold separately will be separately analyzed under domestic preference requirements. Consult factory for further information. Not for use with PRV-XL or PRV-M configurations. Only for use with PRV. Not applicable to PRV-M, PRV-XL, or PRV-P. Must order one per optic/LED when ordering as a field-installable accessory (1, 2, 3, 4, or 6). Refer to House Side Shield reference table for details. This tool enables adjustment to Motion Sensor (MS) parameters including high and low modes, sensitivity, time delay, cutoff and more. Consult your lighting representative for more information. Requires 4-PIN twistlock receptacle option (ZD or ZW) option. Requires 7-PIN NEMA twistlock photocontrol receptacle (PR7) option. The WOLC-7 cannot be used in conjunction with other controls systems (MS, ZD, ZW or LWR). Only for use at 120-347V. Only available for PRV-M configurations. Only for use with PRV-XL. Fixed for PRV-M 															

LumenSafe Integrated Network Security Camera Technology Options (Add as Suffix)

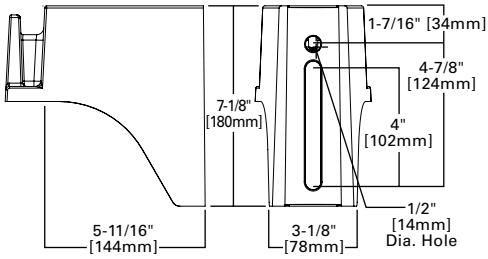
Product Family	Camera Type	Data Backhaul
L=LumenSafe Technology 	H=Dome Camera, High Res Z=Dome Camera, Remote PTZ	C=Cellular, Customer Installed SIM Card A=Cellular, Factory Installed AT&T SIM Card V=Cellular, Factory Installed Verizon SIM Card S=Cellular, Factory Installed Sprint SIM Card E=Ethernet Networking

Mounting Details

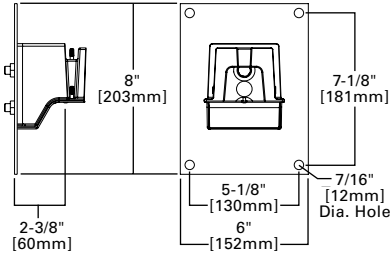
SA=QM Pole Mount Arm (PRV & PRV-P)



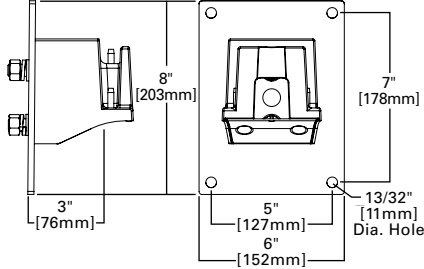
SA=QM Pole Mount Arm (PRV-XL)



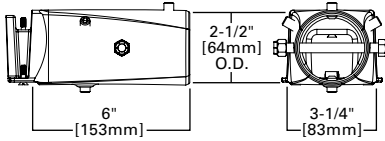
WM=QM Wall Mount Arm (PRV & PRV-P)



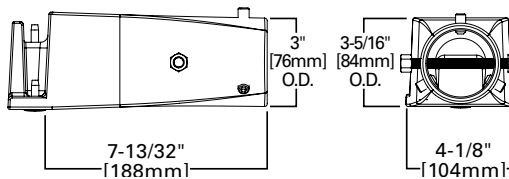
WM=QM Wall Mount Arm (PRV-XL)



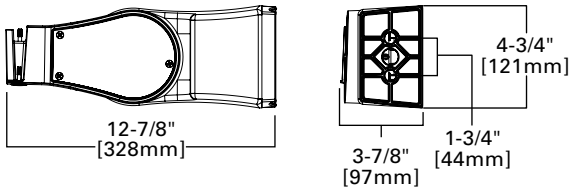
MA=QM Mast Arm (PRV & PRV-P)



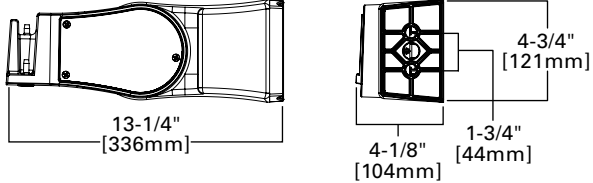
MA=QM Mast Arm (PRV-XL)



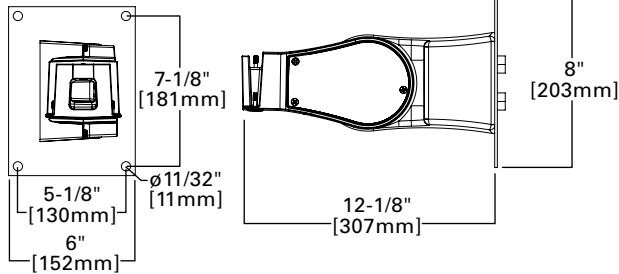
ADJA=Adjustable Arm Pole Mount (PRV & PRV-P)



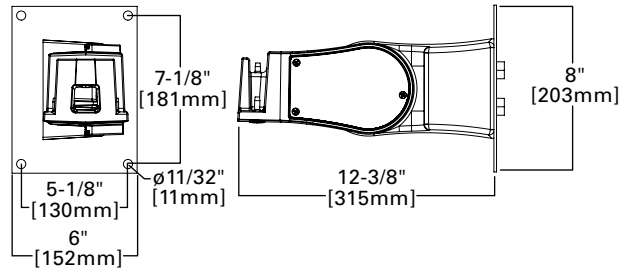
ADJA=Adjustable Arm Pole Mount (PRV-XL)



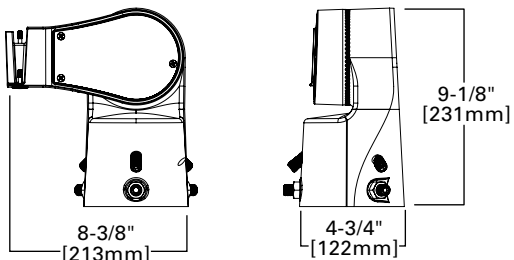
ADJA-WM=Adjustable Arm Wall Mount (PRV & PRV-P)



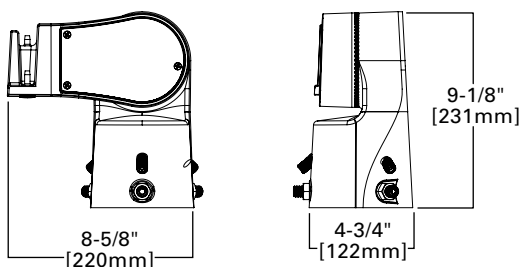
ADJA-WM=Adjustable Arm Wall Mount (PRV-XL)



ADJS=Adjustable Slipfitter 3 (PRV & PRV-P)

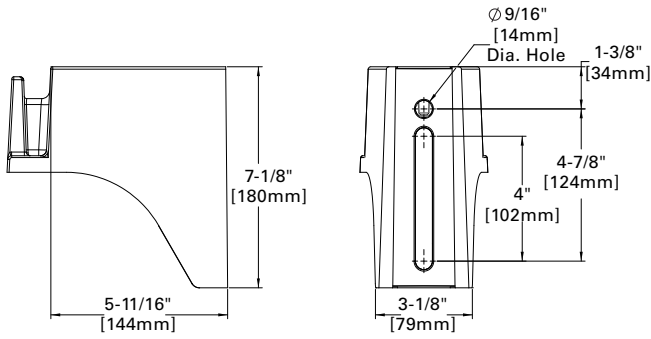


ADJS=Adjustable Slipfitter 3 (PRV-XL)

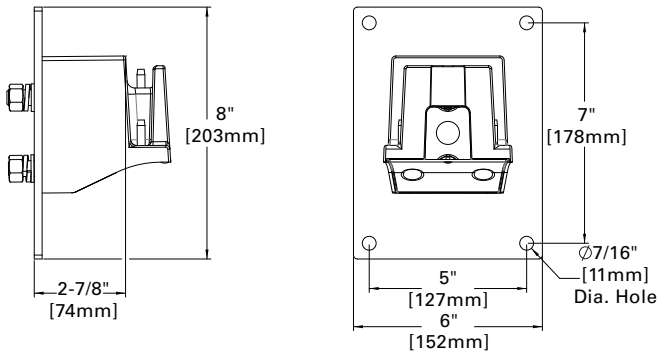


Mounting Details

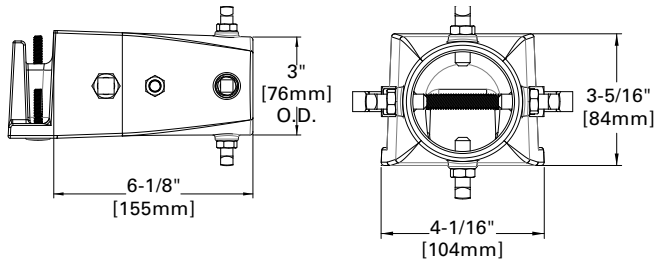
SA=QM Pole Mount Arm (PRV-M)



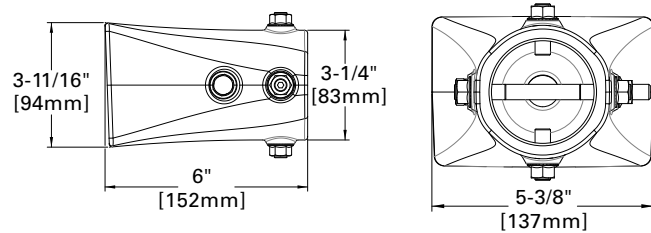
WM=QM Wall Mount Arm (PRV-M)



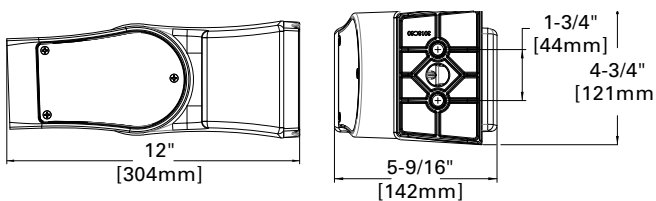
MA=QM Mast Arm (PRV-M)



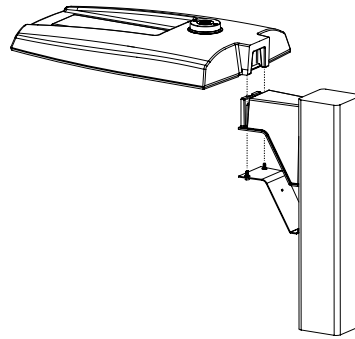
FMA=Fixed Mast Arm (PRV-M)



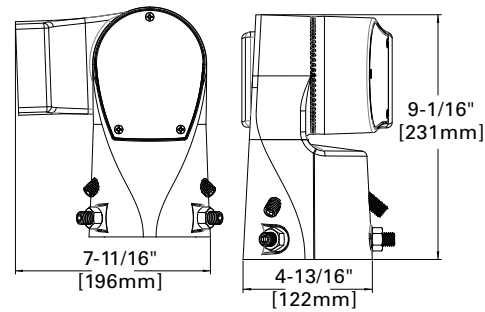
DM=Direct Pole Mount Arm (PRV-M)



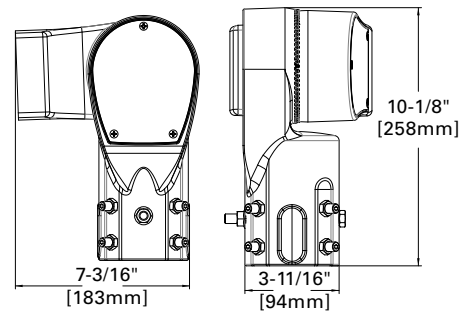
Versatile Mount System



ADJS=Adjustable Slipfitter (PRV-M)



SP2=Adjustable Slipfitter 2-3/8\" (PRV-M)



Mounting Details

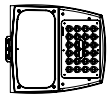
Mounting Configurations and EPAs

NOTE: For 2 PRV's mounted at 90°, requires minimum 3" square or 4" round pole for fixture clearance. For 2 PRV-XL's mounted at 90°, requires minimum 4" square or round pole for fixture clearance. Customer is responsible for engineering analysis to confirm pole and fixture compatibility for applications

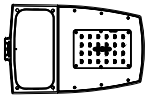
Housing Size	Tilt Angle (Degrees)	Arm Mount Single	Arm Mount 2 @ 180°	Arm Mount 2 @ 90°	Arm Mount 3 @ 90°	Arm Mount 4 @ 90°
Prevail Petite	0°	0.54	1.08	0.84	1.38	1.38
	60°	1.68	1.85	2.42	3.15	3.30
Prevail	0°	0.92	1.35	1.42	1.63	1.63
	60°	2.20	2.40	3.05	3.88	4.07
	60° + Full Drop Visor	2.20	2.40	3.25	4.28	4.47
Prevail XL	0°	1.12	2.25	2.13	2.52	2.52
	60°	3.99	4.30	5.26	6.51	6.79
	60° + Full Drop Visor	3.99	4.30	5.59	7.17	7.49
Prevail Maxx	0°	1.28	2.56	1.7	2.69	2.69
	60°	5.09	5.52	6.34	7.49	7.81

Optical Configurations

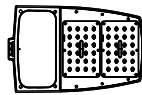
PRV-P-PA1X



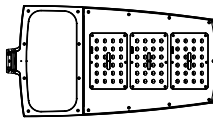
PRV-PA1X



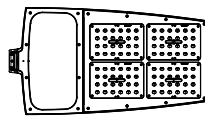
PRV-PA2X



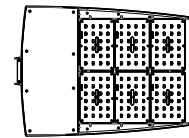
PRV-XL-PA3X



PRV-XL-PA4X

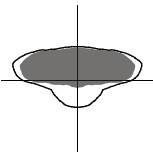


PRV-M-PA6X

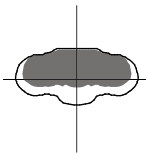


Optical Distributions

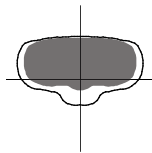
T2R
(Type II Roadway)



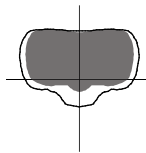
T2U
(Type II Urban)



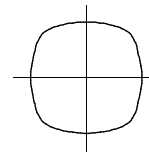
T3
(Type III)



T4W
(Type IV Wide)



5WQ
(Type V Square Wide)



■ = Distribution with House Side Shield (HSS)
□ = Optical Distribution

Product Specifications

Construction

- Single-piece die-cast aluminum housing
- Tethered die-cast aluminum door

Optics

- Dark Sky Approved (3000K CCT and warmer only)
- Precision molded polycarbonate optics

Electrical

- -40°C minimum operating temperature
- 40°C maximum operating temperature
- >.9 power factor
- <20% total harmonic distortion
- Class 1 electronic drivers have expected life of 100,000 hours with <1% failure rate
- 0-10V dimming driver is standard with leads external to the fixture
- Standard MOV surge protective device designed to withstand 10kV of transient line surge

Mounting

- Versatile, patented, standard mount arm accommodates multiple drill patterns ranging from 1-1/2" to 4-7/8" (Type M drilling recommended for new installations)
- A knock-out on the standard mounting arm enables round pole mounting
- Adjustable pole and wall mount arms adjust in 5° increments from 0° to 60°; Downward facing orientation only (Type N drilling required for ADJA mount)
- Adjustable slipfitter arm adjusts in 5° increments from -5° to 85°; Downward facing orientation only
- Prevail and Prevail Petite: 3G vibration rated (all arms)
- Prevail XL Mast Arm: 3G vibration rated
- Prevail XL Standard Arm: 1.5G vibration rated
- Adjustable Arms: 1.5G vibration rated

Finish

- Five-stage super TGIC polyester powder coat paint, 2.5 mil nominal thickness
- Finish is compliant to 3,000 hour salt spray standard (per ASTM B117)

Typical Applications

- Parking lots, Walkways, Roadways and Building Areas

Shipping Data

- Prevail Petite: 18 lbs. (7.94 kgs.)
- Prevail: 20 lbs. (9.09 kgs.)
- Prevail XL: 45 lbs. (20.41 kgs.)
- Prevail Maxx: 49 lbs. (22.23 kgs.)

Warranty

- Five year limited warranty, consult website for details. www.cooperlighting.com/legal

Energy and Performance Data

Power and Lumens

[View PRV-P IES files](#)
[View PRV IES files](#)
[View PRV-XL IES files](#)

Product Family		Prevail Petite				Prevail				Prevail XL				Prevail Maxx			
Light Engine		PA1A	PA1B	PA1C	PA1D	PA1A	PA1B	PA2A	PA2B	PA3A	PA3B	PA4A	PA4B	PA6A	PA6B	PA6C	PA6D
Power (Watts)		31	53	72	93	54	74	113	151	172	234	245	303	274	366	457	544
Drive Current (mA)		375	670	930	1200	670	930	720	970	750	980	785	970	600	800	1000	1200
Input Current @ 120V (A)		0.26	0.44	0.60	0.78	0.45	0.62	0.93	1.26	1.44	1.95	2.04	2.53	2.30	3.05	3.83	4.54
Input Current @ 277V (A)		0.12	0.20	0.28	0.35	0.21	0.28	0.41	0.55	0.62	0.85	0.93	1.12	0.99	1.30	1.62	1.94
Input Current @ 347V (A)		0.10	0.17	0.23	0.29	0.17	0.23	0.33	0.45	0.52	0.70	0.74	0.90	0.78	1.05	1.32	1.60
Input Current @ 480V (A)		0.07	0.13	0.17	0.22	0.12	0.17	0.24	0.33	0.39	0.52	0.53	0.65	0.58	0.76	0.95	1.14
Distribution																	
Type II Roadway	4000K/5000K Lumens	4,505	7,362	9,495	11,300	7,605	9,896	15,811	19,745	24,718	30,648	34,067	39,689	41,611	52,596	61,921	67,899
	BUG Rating	B1-U0-G1	B1-U0-G2	B1-U0-G2	B1-U0-G2	B1-U0-G2	B1-U0-G2	B2-U0-G3	B2-U0-G3	B3-U0-G3	B3-U0-G4	B3-U0-G4	B3-U0-G4	B3-U0-G4	B4-U0-G5	B4-U0-G5	B4-U0-G5
	Lumens per Watt	147	139	132	121	141	134	141	131	144	131	139	131	152	144	135	125
	3000K Lumens ¹	4,103	6,705	8,647	10,291	6,926	9,012	14,399	17,982	22,511	27,912	31,025	36,145	37,896	47,900	56,392	61,837
Type II Roadway w/ HSS	4000K/5000K Lumens	3,727	6,091	7,855	9,349	6,006	7,815	12,487	15,594	19,521	24,204	26,094	31,334	32,874	41,553	48,919	53,642
	BUG Rating	B0-U0-G1	B0-U0-G2	B0-U0-G2	B1-U0-G2	B0-U0-G1	B1-U0-G2	B1-U0-G2	B1-U0-G2	B1-U0-G3	B1-U0-G3	B1-U0-G4	B1-U0-G4	B2-U0-G4	B2-U0-G4	B2-U0-G5	B2-U0-G5
	Lumens per Watt	121	115	109	100	111	106	111	103	113	103	107	103	120	114	107	99
	3000K Lumens ¹	3,394	5,547	7,154	8,514	5,470	7,117	11,372	14,201	17,778	22,043	24,502	28,545	29,939	37,843	44,552	48,853
Type II Urban	4000K/5000K Lumens	4,496	7,347	9,476	11,277	7,597	9,886	15,795	19,724	24,692	30,616	34,031	39,647	41,372	52,294	61,565	67,509
	BUG Rating	B1-U0-G1	B2-U0-G2	B2-U0-G2	B3-U0-G3	B2-U0-G2	B3-U0-G3	B3-U0-G3	B3-U0-G3	B4-U0-G4	B4-U0-G4	B4-U0-G4	B4-U0-G4	B4-U0-G4	B5-U0-G5	B5-U0-G5	B5-U0-G5
	Lumens per Watt	146	139	131	121	141	134	141	131	144	131	139	131	151	143	135	124
	3000K Lumens ¹	4,095	6,691	8,630	10,271	6,919	9,003	14,384	17,963	22,488	27,882	30,992	36,107	37,678	47,625	56,068	61,481
Type II Urban w/ HSS	4000K/5000K Lumens	3,253	5,316	6,856	8,160	5,297	6,893	11,013	13,753	17,217	21,347	23,728	27,644	28,951	36,594	43,082	47,241
	BUG Rating	B1-U0-G1	B1-U0-G1	B1-U0-G2	B1-U0-G2	B1-U0-G1	B1-U0-G2	B1-U0-G2	B2-U0-G2	B2-U0-G2	B2-U0-G3	B2-U0-G3	B3-U0-G4	B3-U0-G4	B3-U0-G4	B3-U0-G5	B3-U0-G5
	Lumens per Watt	106	101	95	87	98	93	97	91	100	91	97	91	106	100	94	87
	3000K Lumens ¹	2,963	4,841	6,244	7,431	4,824	6,277	10,029	12,525	15,680	19,441	21,609	25,176	26,366	33,327	39,235	43,023
Type III	4000K/5000K Lumens	4,443	7,261	9,364	11,145	7,575	9,857	15,749	19,667	24,621	30,527	33,932	39,532	41,155	52,020	61,242	67,155
	BUG Rating	B1-U0-G1	B1-U0-G2	B2-U0-G2	B2-U0-G2	B1-U0-G2	B2-U0-G3	B3-U0-G3	B3-U0-G3	B3-U0-G4	B3-U0-G5	B3-U0-G5	B4-U0-G5	B4-U0-G5	B4-U0-G5	B4-U0-G5	B4-U0-G5
	Lumens per Watt	145	138	130	119	140	133	141	130	143	130	138	130	150	142	134	123
	3000K Lumens ¹	4,046	6,612	8,528	10,150	6,899	8,977	14,343	17,911	22,423	27,802	30,903	36,002	37,480	47,375	55,774	61,159
Type III w/ HSS	4000K/5000K Lumens	3,406	5,566	7,179	8,543	5,592	7,277	11,626	14,519	18,176	22,536	25,049	29,183	30,159	38,121	44,879	49,212
	BUG Rating	B0-U0-G1	B1-U0-G2	B1-U0-G2	B1-U0-G2	B1-U0-G2	B1-U0-G2	B1-U0-G2	B1-U0-G3	B2-U0-G4	B2-U0-G4	B2-U0-G4	B2-U0-G5	B2-U0-G5	B3-U0-G5	B3-U0-G5	B3-U0-G5
	Lumens per Watt	111	105	100	91	104	98	103	96	106	96	102	96	110	104	98	90
	3000K Lumens ¹	3,102	5,069	6,538	7,781	5,093	6,627	10,588	13,222	16,553	20,524	22,813	26,578	27,466	34,717	40,872	44,818
Type IV Wide	4000K/5000K Lumens	4,348	7,106	9,164	10,906	7,484	9,738	15,560	19,431	24,325	30,161	33,525	39,057	41,207	52,086	61,320	67,240
	BUG Rating	B1-U0-G2	B2-U0-G2	B2-U0-G2	B2-U0-G3	B2-U0-G2	B2-U0-G3	B3-U0-G3	B3-U0-G4	B3-U0-G4	B3-U0-G5	B3-U0-G5	B4-U0-G5	B4-U0-G5	B4-U0-G5	B4-U0-G5	B4-U0-G5
	Lumens per Watt	142	135	127	117	139	132	139	129	141	129	137	129	151	142	134	124
	3000K Lumens ¹	3,960	6,471	8,346	9,932	6,816	8,869	14,170	17,696	22,153	27,468	30,531	35,570	37,528	47,435	55,845	61,236
Type IV Wide w/ HSS	4000K/5000K Lumens	3,318	5,422	6,993	8,323	5,420	7,053	11,268	14,072	17,617	24,843	24,279	28,286	30,005	37,926	44,650	48,961
	BUG Rating	B0-U0-G1	B1-U0-G2	B1-U0-G2	B1-U0-G2	B1-U0-G2	B1-U0-G2	B1-U0-G3	B1-U0-G3	B1-U0-G4	B2-U0-G4	B2-U0-G4	B2-U0-G5	B2-U0-G5	B3-U0-G5	B3-U0-G5	B3-U0-G5
	Lumens per Watt	108	103	97	89	100	95	100	93	102	106	99	93	110	104	98	90
	3000K Lumens ¹	3,022	4,938	6,369	7,580	4,936	6,423	10,262	12,816	16,044	19,892	22,111	25,760	27,326	34,540	40,664	44,589
Type V Square Wide	4000K/5000K Lumens	4,497	7,349	9,478	11,280	7,831	10,190	16,281	20,332	25,453	31,559	35,079	40,868	42,947	54,285	63,909	70,079
	BUG Rating	B3-U0-G1	B3-U0-G2	B4-U0-G2	B4-U0-G2	B3-U0-G2	B4-U0-G3	B4-U0-G3	B5-U0-G3	B5-U0-G4	B5-U0-G5	B5-U0-G5	B5-U0-G5	B5-U0-G5	B5-U0-G5	B5-U0-G5	B5-U0-G5
	Lumens per Watt	146	139	131	121	145	138	145	135	148	135	143	135	157	143	136	129
	3000K Lumens ¹	4,095	6,693	8,632	10,273	7,132	9,280	14,827	18,517	23,180	28,741	31,947	37,219	39,112	49,438	58,203	63,822

NOTES:
1. For 3000K or HSS BUG Ratings, refer to published IES files

Energy and Performance Data

House Side Shield Reference Table

Product Family		Prevail	Prevail		Prevail XL		Prevail Maxx
Light Engine		PA1	PA1	PA2	PA3	PA4	PA6
Rotated Optics	Standard	HSS-HP (Qty 1)	HSS-VP (Qty 1)	HSS-HP (Qty 2)	HSS-HP (Qty 3)	HSS-VP (Qty 4)	HSS-HP (qty 6)
	L90 or R90 option	HSS-VP (Qty 1)	HSS-HP (Qty 1)	HSS-VP (Qty 2)	HSS-VP (Qty 3)	HSS-HP (Qty 4)	HSS-VP (qty 6)

Sensor Color Reference Table (SPBx)

Housing Finish	Sensor Color
AP=Grey	Grey
BZ=Bronze	Bronze
BK=Black	Black
DP=Dark Platinum	Grey
GM=Graphite Metallic	Black
WH=White	White

Lumen Multiplier

Ambient Temperature	Lumen Multiplier
0°C	1.02
10°C	1.01
25°C	1.00
40°C	0.99
50°C	0.97

Lumen Maintenance

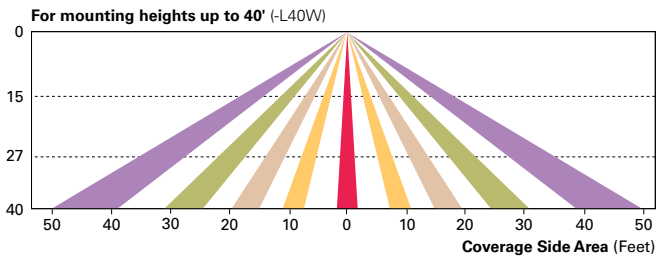
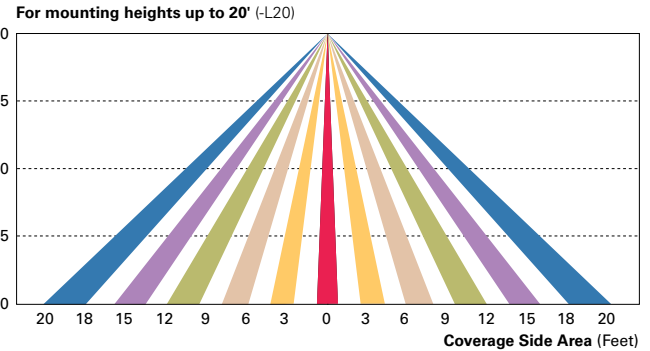
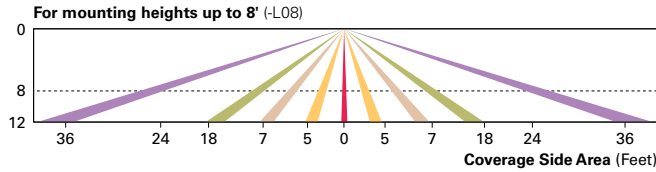
Ambient Temperature	TM-21 Lumen Maintenance (78,000 Hours)	Theoretical L70 (Hours)
Up to 50°C	96.76%	> 896,000

Control Options

0-10V This fixture provides 0-10V dimming wire leads for use with a lighting control panel or other control method.

Photocontrol (PR and PR7) Photocontrol receptacles provide a flexible solution to enable “dusk-to-dawn” lighting by sensing light levels. Advanced control systems compatible with NEMA 7-PIN standards can be utilized with the PR7 receptacle.

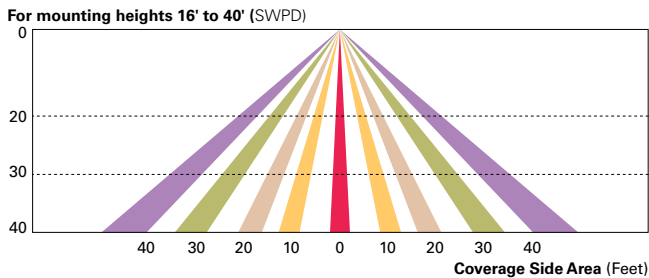
Dimming Occupancy Sensor (SPB, MS/DIM-LXX) These sensors are factory installed in the luminaire housing. When the SPB or MS/DIM sensor options are selected, the luminaire will dim down after five minutes of no activity detected. When activity is detected, the luminaire returns to full light output. These occupancy sensors include an integral photocell for “dusk-to-dawn” control or “daylight harvesting.” Factory default is enabled for the MS sensors and disabled for the SPB. SPB motion sensors require the Sensor Configuration mobile application by Wattstopper to change factory default dimming level, time delay, sensitivity and other parameters. Available for iOS and Android devices. The SPB sensor is factory preset to dim down to approximately 10% power with a time delay of five minutes.



WaveLinx Wireless Control and Monitoring System Available in 7-PIN or 4-PIN configurations, the WaveLinx Outdoor control platform operates on a wireless mesh network based on IEEE 802.15.4 standards enabling wireless control of outdoor lighting. At least one Wireless Area Controller (WAC) is required for full functionality and remote communication (including adjustment of any factory pre-sets).

WaveLinx Outdoor Control Module (WOLC-7P-10A) A photocontrol that enables astronomical or time-based schedules to provide ON, OFF and dimming control of fixtures utilizing a 7-PIN receptacle. The out-of-box functionality is ON at dusk and OFF at dawn.

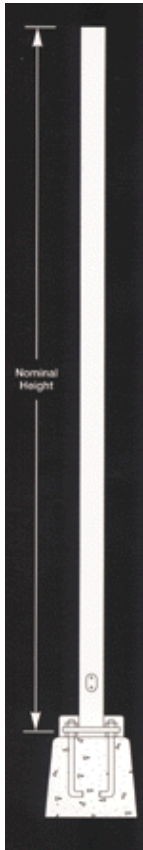
WaveLinx Wireless Sensor (SWPD4 and SWPD5) These outdoor sensors offer passive infrared (PIR) occupancy sensing and a photocell for closed-loop daylight sensing. These sensors can be factory installed or field-installed via simple, tool-less integration into luminaires equipped with the Zhaga Book 18 compliant 4-PIN receptacle (ZD or ZW). These sensors are factory preset to dim down to approximately 50 percent power after 15 minutes of no activity detected, and the photocell for “dusk-to-dawn” control is default enabled. A variety of sensor lenses are available to optimize the coverage pattern for mounting heights from 7'-40'.



LumenSafe (LD) The LumenSafe integrated network camera is a streamlined, outdoor-ready camera that provides high definition video surveillance. This IP camera solution is optimally designed to integrate into virtually any video management system or security software platform of choice. No additional wiring is needed beyond providing line power to the luminaire. LumenSafe features factory-installed power and networking gear in a variety of networking options allowing security integrators to design the optimal solution for active surveillance.



SSP Square Non-Tapered Steel Poles



SSP

Pole Shaft

The pole shaft is one piece construction, being fabricated from a weldable grade carbon steel structural tubing which has a uniform wall thickness of 11 gauge (0.1196"), 7 gauge (0.1793"), or 3 gauge (0.2391"). The pole shaft material shall conform to ASTM A-500 Grade C with a minimum yield strength of 50,000 psi. The pole shaft has a full length longitudinal resistance weld and is uniformly square in cross-section with flat sides, small corner radii and excellent torsional properties.

Base Plate

The anchor base is fabricated from structural quality hot rolled carbon steel plate that meets or exceeds a minimum yield strength of 36,000 psi. The anchor base telescopes the pole shaft and is circumferentially welded top and bottom. All welds are performed in accordance with the American Welding Society specification AWS D1.1, latest edition.

Anchor Bolts

Anchor bolts are fabricated from commercial quality hot rolled carbon steel bar that meets or exceeds a minimum yield strength of 55,000 psi. Four properly sized anchor bolts, each with two regular hex nuts and washers, are furnished and shipped with all poles unless otherwise specified. Anchor bolts shall have the threaded end galvanized a minimum of 8 inches in accordance with ASTM A-153. Fully galvanized anchor bolts are available upon request.

Handhole

An oval reinforced gasketed handhole, having a nominal 3" x 5" or 4" x 6-1/2" inside opening, located 1'-6" above base, is standard on all poles. Optional 5" x 8" and 4" x 10" handholes are available (see options). A grounding provision is located inside the handhole ring.

Finishes

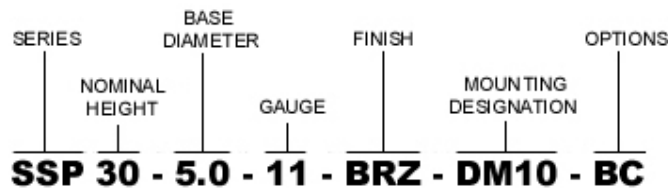
The [Standard Finish](#) is a polyester thermosetting powder coating applied to the surface of the substrate to a minimum of 3 mils for all color finishes. [Hot dip Galvanized](#) finish to a ASTM A-123 specification or primed finish is also available. For optional finishes, see [K-KLAD](#) and [K-KLAD Over Galvanizing](#).

HOW TO ORDER

When ordering KW lighting standards, mounting adaptors and accessories, be sure to specify the complete catalog number. Our catalog numbers reflect the precise specifications of the item ordered to ensure our customers will receive the product which meets their exact requirements.

The following explanation of the catalog numbers will be helpful in placing orders:

CATALOG LOGIC - ORDERING SAMPLE



Catalog Number	Nominal Height	Pole Shaft	Gauge	Handhole Size	Anchor Bolt	Bolt Circle	80 MPH	90 MPH	100 MPH	Ship WT.
SSP10-4.0-11	10	4.0 x 10.0	11	3 x 5	0.75 x 17 x 3	8	42.1	33.5	27.1	87
SSP10-4.0-7	10	4.0 x 10.0	7	3 x 5	0.75 x 30 x 3	8	55	44	35.5	130
SSP10-5.0-11	10	5.0 x 10.0	11	3 x 5	1.00 x 36 x 4	11	58	44	34	151
SSP12-4.0-11	12	4.0 x 12.0	11	3 x 5	0.75 x 17 x 3	8	33.7	26.7	21.4	100
SSP12-4.0-7	12	4.0 x 12.0	7	3 x 5	0.75 x 30 x 3	8	47.5	37.3	29.8	150
SSP12-5.0-11	12	5.0 x 12.0	11	3 x 5	1.00 x 36 x 4	11	49	38	29	168
SSP14-4.0-11	14	4.0 x 14.0	11	3 x 5	0.75 x 17 x 3	8	27.4	21.5	17.1	113
SSP14-4.0-7	14	4.0 x 14.0	7	3 x 5	0.75 x 30 x 3	8	40	31	24.5	170

SSP14-5.0-11	14	5.0 x 14.0	11	3 x 5	1.00 x 36 x 4	11	40	30	23	184
SSP14-5.0-7	14	5.0 x 14.0	7	3 x 5	1.00 x 36 x 4	11	65	52	41.5	242
SSP15-4.0-11	15	4.0 x 15.0	11	3 x 5	0.75 x 17 x 3	8	20.7	16.1	12.6	119
SSP15-4.0-7	15	4.0 x 15.0	7	3 x 5	0.75 x 30 x 3	8	30.9	24.4	19.6	172
SSP15-5.0-11	15	5.0 x 15.0	11	3 x 5	1.00 x 36 x 4	11	36	27.5	21	192
SSP15-5.0-7	15	5.0 x 15.0	7	3 x 5	1.00 x 36 x 4	11	59	46.5	37	254
SSP16-4.0-11	16	4.0 x 16.0	11	3 x 5	0.75 x 17 x 3	8	18.7	14.4	11.2	125
SSP16-4.0-7	16	4.0 x 16.0	7	3 x 5	0.75 x 30 x 3	8	27.2	20.7	16	210
SSP16-5.0-11	16	5.0 x 16.0	11	3 x 5	1.00 x 36 x 4	11	33.5	25	18	201
SSP16-5.0-7	16	5.0 x 16.0	7	3 x 5	1.00 x 36 x 4	11	54	43	34	266
SSP18-4.0-11	18	4.0 x 18.0	11	3 x 5	0.75 x 17 x 3	8	15.2	11.5	8.7	138
SSP18-4.0-7	18	4.0 x 18.0	7	3 x 5	0.75 x 30 x 3	8	27.2	20.7	16	210
SSP18-5.0-11	18	5.0 x 18.0	11	3 x 5	1.00 x 36 x 4	11	27	19.5	15	218
SSP18-5.0-7	18	5.0 x 18.0	7	3 x 5	1.00 x 36 x 4	11	46	36	28	291
SSP20-4.0-11	20	4.0 x 20.0	11	3 x 5	0.75 x 17 x 3	8	12.3	9	6.5	151
SSP20-4.0-7	20	4.0 x 20.0	7	3 x 5	0.75 x 30 x 3	8	19.6	15	11.5	219
SSP20-5.0-11	20	5.0 x 20.0	11	3 x 5	1.00 x 36 x 4	11	22.2	16.8	12.6	235
SSP20-5.0-7	20	5.0 x 20.0	7	3 x 5	1.00 x 36 x 4	11	35.4	27.5	21.5	313
SSP20-6.0-7	20	6.0 x 20.0	7	3 x 5	1.00 x 36 x 4	11.5	56	42.5	33.5	368
SSP22-4.0-11	22	4.0 x 22.0	11	3 x 5	0.75 x 17 x 3	8	6.9	4.3	2.3	182
SSP22-4.0-7	22	4.0 x 22.0	7	3 x 5	0.75 x 30 x 3	8	12.2	8.7	6	266
SSP22-5.0-11	22	5.0 x 22.0	11	3 x 5	1.00 x 36 x 4	11	18.5	13.6	9.8	252
SSP22-5.0-7	22	5.0 x 22.0	7	3 x 5	1.00 x 36 x 4	11	30.2	23.2	17.8	337
SSP22-6.0-7	22	6.0 x 22.0	7	3 x 5	1.00 x 36 x 4	11.5	49	37.5	28	398
SSP24-4.0-7	24	4.0 x 24.0	7	3 x 5	0.75 x 30 x 3	8	12.2	8.7	6	266
SSP24-5.0-11	24	5.0 x 24.0	11	3 x 5	1.00 x 36 x 4	11	15.2	10.8	7.4	268
SSP24-5.0-7	24	5.0 x 24.0	7	3 x 5	1.00 x 36 x 4	11	25.8	19.4	14.6	361
SSP24-6.0-7	24	6.0 x 24.0	7	3 x 5	1.00 x 36 x 4	11.5	42	31.5	23	428
SSP25-4.0-11	25	4.0 x 25.0	11	3 x 5	0.75 x 17 x 3	8	6.9	4.3	2.3	182
SSP25-4.0-7	25	4.0 x 25.0	7	3 x 5	0.75 x 30 x 3	8	12.2	8.7	6	266
SSP25-5.0-11	25	5.0 x 25.0	11	3 x 5	1.00 x 36 x 4	11	13.8	9.5	6.3	276
SSP25-5.0-7	25	5.0 x 25.0	7	3 x 5	1.00 x 36 x 4	11	23.8	17.7	13.1	373
SSP25-6.0-7	25	6.0 x 25.0	7	3 x 5	1.00 x 36 x 4	11.5	39	28.5	21	443
SSP26-4.0-7	26	4.0 x 26.0	7	3 x 5	0.75 x 30 x 3	8	6.9	4	1	312
SSP26-5.0-11	26	5.0 x 26.0	11	3 x 5	1.00 x 36 x 4	11	12.4	8.3	5.2	284
SSP26-5.0-7	26	5.0 x 26.0	7	3 x 5	1.00 x 36 x 4	11	21.9	16.1	11.8	384
SSP26-6.0-7	26	6.0 x 26.0	7	3 x 5	1.00 x 36 x 4	11.5	35.5	25.5	18.5	457
SSP28-4.0-7	28	4.0 x 28.0	7	3 x 5	0.75 x 30 x 3	8	6.9	4	1	312
SSP28-5.0-11	28	5.0 x 28.0	11	3 x 5	1.00 x 36 x 4	11	9.8	6.1	3.2	300
SSP28-5.0-7	28	5.0 x 28.0	7	3 x 5	1.00 x 36 x 4	11	18.4	13.2	9.2	408
SSP28-6.0-7	28	6.0 x 28.0	7	3 x 5	1.00 x 36 x 4	11.5	30	21.5	15	487
SSP30-4.0-7	30	4.0 x 30.0	7	3 x 5	0.75 x 30 x 3	8	6.9	4	1	312
SSP30-5.0-11	30	5.0 x 30.0	11	3 x 5	1.00 x 36 x 4	11	6.5	3.5	1.2	315
SSP30-5.0-7	30	5.0 x 30.0	7	3 x 5	1.00 x 36 x 4	11	13.4	9.1	5.9	432
SSP30-6.0-7	30	6.0 x 30.0	7	3 x 5	1.00 x 36 x 4	11.5	27.5	19.9	14.1	512
SSP30-6.0-3	30	6.0 x 30.0	3	3 x 5	1.00 x 36 x 4	12	34.3	25.3	18.5	645
SSP35-5.0-7	35	5.0 x 35.0	7	3 x 5	1.00 x 36 x 4	11	7.2	3.7	1	491
SSP35-6.0-7	35	6.0 x 35.0	7	3 x 5	1.00 x 36 x 4	11.5	15	9.5	5.3	584
SSP35-6.0-3	35	6.0 x 35.0	3	3 x 5	1.00 x 36 x 4	12	19.7	13.2	8.2	739
SSP39-6.0-7	39	6.0 x 39.0	7	3 x 5	1.00 x 36 x 4	11.5	9.2	4.3	0.6	642
SSP39-6.0-3	39	6.0 x 39.0	3	3 x 5	1.00 x 36 x 4	12	13	7.4	3.1	814

FINISHES**Standard**

BRZ Bronze
BLK Black
GRY Gray
GRN Green
WHT White
P Primed
NA Natural Aluminum

Galvanized

G Galvanized

K-KLAD

K813 Bronze
K821 Black
K841 Gray
K891 Green
K881 White
K845 Natural Aluminum

K-KLAD Over Galvanizing

KZ13 Bronze
KZ21 Black
KZ41 Gray
KZ91 Green
KZ81 White
KZ45 Natural Aluminum

1 YEAR WARRANTY

5 YEAR WARRANTY

10 YEAR WARRANTY

MOUNTING DESIGNATIONS

Tenon Mount

2	2 3/8" x 4" TENON
3	2 7/8" x 4" TENON
3.5	3 1/2" x 6" TENON
4	4" x 6" TENON

Drill Mount

DM10	Drilled for 1 Luminaire
DM2090	Drilled for 2 Luminaires @ 90°
DM2180	Drilled for 2 Luminaires @ 180°
DM3090	Drilled for 3 Luminaires @ 90°
DM4090	Drilled for 4 Luminaires @ 90°

Open Mount

OT	Open Top
OTC	Open Top includes Pole Cap

Gain Mount

1GSS4	(1) CXA
2GSS4	(2) CXA's located on the Same Side
3GSS4	(3) CXA's located on the Same Side
4GSS4	(4) CXA's located on the Same Side
2GBB4	(2) CXA's located Back to Back
4GBB4	(4) CXA's located Back to Back
1GSS9	(1) CXASQ
2GSS9	(2) CXASQ's located on the Same Side
3GSS9	(3) CXASQ's located on the Same Side
4GSS9	(4) CXASQ's located on the Same Side
2GBB9	(2) CXASQ's located Back to Back
4GBB9	(4) CXASQ's located Back to Back

OPTIONS

There are numerous options that can be ordered. Please indicate these selections under the options column in the catalog number. Example: CPL-WPR2-BC.

Accessories

BC	Base Cover
CPL	Threaded Coupling*
NPL	Threaded Nipple*
WPRP	Festoon Opening**
LAB	Less Anchor Bolt

Optional Handholes

58HH	5" x 8" Handhole*
410HH	4" x 10" Handhole*

Extra Handholes

XHH	Extra Handhole*
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Embedment Pole Options

E	Embedded Pole
GS	Ground Sleeve
CTE	Coal Tar Epoxy

For Embedment Poles:

Recommended Mounting Height	Recommended Embedment Depth
Less than 20'	4'
20' - 33'	6'
Greater than 33'	7'

Additional Simplex

1S	1 @ 0° *
2S	2 @ 180° *
3S	3 @ 90° *
4S	4 @ 90° *

Greater embedment depths are available upon request.
Embedment poles greater than 35' are not available.

* Please advise size, location, and orientation. (Handholes are restricted by size of pole shaft diameter)

** Located 24" above baseplate and same side as handhole. (No electrical included)

PACKAGING

Immediately after coating, the lighting standard including the baseplate shall be wrapped in heavy corrugation specially designed and sized to achieve maximum protection in transit.

KW Industries, Inc. coating process system and stringent quality control procedures provide our customer the finest quality lighting standards in the industry.



CITY OF ROCKWALL

PLANNING AND ZONING COMMISSION CASE MEMO

PLANNING AND ZONING DEPARTMENT

385 S. GOLIAD STREET • ROCKWALL, TX 75087

PHONE: (972) 771-7745 • EMAIL: PLANNING@ROCKWALL.COM

TO: Planning and Zoning Commission
DATE: August 15, 2023
APPLICANT: David Lindsey; *Tri-Tex Construction, Inc.*
CASE NUMBER: SP2023-024; *Site Plan for 955 Sids Road*

SUMMARY

Discuss and consider a request by David Lindsay of Tri-Tex Construction Inc. for the approval of a Site Plan for an office building on a 1.50-acre tract of land identified as Tract 8-3 of the J. D. McFarland Survey, Abstract No. 145, City of Rockwall, Rockwall County, Texas, zoned Heavy Commercial (HC) District, addressed as 955 Sids Road, and take any action necessary.

BACKGROUND

According to the Rockwall Central Appraisal District (RCAD), existing on the subject property is a 576 SF office building and a 960 SF storage building, both of which were constructed in 1985. The subject property was annexed into the City of Rockwall on May 19, 1986 by Ordinance No. 86-37 [Case No. A1986-005]. According to the December 7, 1993 zoning map the subject property was zoned Agricultural (AG) District. On April 1, 2013, the City Council approved a zoning change [Case No. Z2013-007] changing the designation from an Agricultural (AG) District to Heavy Commercial (HC) District.

PURPOSE

On July 14, 2023, the applicant -- David Lindsey of Tri-Tex Construction, Inc. -- submitted an application requesting the approval of a Site Plan for the purpose of constructing an office building on the subject property.

ADJACENT LAND USES AND ACCESS

The subject property is addressed as 955 Sids Road. The land uses adjacent to the subject property are as follows:

North: Directly north of the subject property is a 1.50-acre tract of land (i.e. 960 Sids Road) developed with an office building that is zoned Commercial (C) District. Beyond this are three (3) tracts of land (i.e. 965, 967, & 981 Sids Road) that serve as bus storage for the Rockwall Independent School District (RISD), and are zoned Heavy Commercial (HC) District.

South: Directly south of the subject property is a vacant five (5) acre tract of land (i.e. Tract 8-1 of the J. D. McFarland Survey, Abstract No. 145) zoned Agricultural (AG) District. Beyond this is Sids Road, which is identified as a Minor Collector on the Master Thoroughfare Plan contained in the OURHometown Vision 2040 Comprehensive Plan. Following this is an 18.87-acre parcel of land (i.e. Lot 9, Block A, Rayburn Country Addition) developed with office buildings that is zoned Heavy Commercial (HC) District.

East: Directly east of the subject property is Sids Road, which is identified as a Minor Collector on the Master Thoroughfare Plan contained in the OURHometown Vision 2040 Comprehensive Plan. Beyond this is an 18.87-acre parcel of land (i.e. Lot 9, Block A, Rayburn Country Addition) developed with office buildings, which is followed by a vacant 11.4699-acre parcel of land (i.e. Lot 6, Block A, Rayburn Country Addition). All of these properties are zoned Heavy Commercial (HC) District.

West: Directly west of the subject property is a vacant 20.562-acre parcel of land that serves as open space for the Flagstone Estates Subdivision. Beyond this the Flagstone Estates Subdivision, which consists of 81 single-family residential homes and is zoned Planned Development District 54 (PD-54) for Single-Family 10 (SF-10) District land uses. Following this is Mims Road, which is identified as a M4U (*i.e. major collector, four [4] land, undivided roadway*) on the Master Thoroughfare Plan contained in the OURHometown Vision 2040 Comprehensive Plan.

DENSITY AND DIMENSIONAL REQUIREMENTS

According to Section 01, *Land Use Schedule*, of Article 04, *Permissible Uses*, of the Unified Development Code (UDC), an *Office Building* is a permitted *by-right* land use in a Heavy Commercial (HC) District. The submitted site plan, landscape plan, and building elevations generally conform to the technical requirements contained within the Unified Development Code (UDC) for a property located within a Heavy Commercial (HC) District with the exception of the items noted in the *VariANCES and Exceptions Requested by the Applicant* section of this case memo. A summary of the density and dimensional requirements for the subject property are as follows:

<i>Ordinance Provisions</i>	<i>Zoning District Standards</i>	<i>Conformance to the Standards</i>
<i>Minimum Lot Area</i>	12,500 SF	X=1.50-acres; In Conformance
<i>Minimum Lot Frontage</i>	100-Feet	X= 134.66-feet; In Conformance
<i>Minimum Lot Depth</i>	125-Feet	X=460.75-feet; In Conformance
<i>Minimum Front Yard Setback</i>	25-Feet	X>25-feet; In Conformance
<i>Minimum Rear Yard Setback</i>	20-Feet	X>20-feet; In Conformance
<i>Minimum Side Yard Setback</i>	15-Feet	X>15-feet; In Conformance
<i>Maximum Building Height</i>	60-Feet	X=21.5-feet; In Conformance
<i>Max Building/Lot Coverage</i>	60%	X=09.48%; In Conformance
<i>Minimum Number of Parking Spaces</i>	1 Parking Space/300SF (21 Required)	X=24; In Conformance
<i>Minimum Landscaping Percentage</i>	15%	X>15.00%; In Conformance
<i>Maximum Impervious Coverage</i>	90-95%	X<90%; In Conformance

TREESCAPE PLAN

The applicant is not proposing to remove any trees from the subject property; therefore, a *Treescape Plan* is not required.

CONFORMANCE WITH THE CITY’S CODES

According to Subsection 02.02(D)(2), *Office Building*, of Article 13, *Definitions*, of the Unified Development Code (UDC), an *Office* is defined as “...facility that provides executive, management, administrative, or professional services ... but not involving the sale of merchandise except as incidental to a permitted use.” In this case, the applicant’s request for an *Office Building* is permitted by right according to Section 01, *Land Use Schedule*, of Article 04, *Permissible Uses*, of the Unified Development Code (UDC).

According to Subsection 05.01, *Landscape Buffers*, of Article 05, *District Development Standards*, of the Unified Development Code (UDC), “(a) minimum of a ten (10) foot wide landscape buffer shall be required along the entire length of any non-residential lot that abuts a public right-of-way ...” and all buffers shall incorporate a berm, and one (1) canopy tree and one (1) accent tree per 50-linear feet of frontage. In this case, the applicant is incorporating the required the landscaping and berm to satisfy the landscape buffer requirements for a non-residential property abutting a public right-of-way. In addition, the proposed site plan also generally conforms to the requirements of the *General Commercial District Standards* as stipulated by Article 05, *District Development Standards*, of the Unified Development Code (UDC), with the exception of the exception being requested as outlined in the *VariANCES and Exceptions Requested by the Applicant* section of this case memo.

VARIANCES AND EXCEPTIONS BY THE APPLICANT

As stated above, the applicant’s request conforms to the majority of the City’s codes; however, staff has identified the following exceptions:

- (1) *Building Articulation.*

- (a) Primary and Secondary Building Facades. According to Subsection 04.01 (C), *General Commercial District Standards*, of Article 05, *District Development Standards*, of the Unified Development Code (UDC), for primary and secondary building facades a "... wall length shall not exceed three (3) times the wall height." In this case, the new building the applicant is proposing does not meet the wall length requirement. This will require an exception from the Planning and Zoning Commission.

According to Subsection 09, *Exceptions and Variances*, of Article 11, *Development Applications and Review Procedures*, of the Unified Development Code (UDC), an applicant may request the Planning and Zoning Commission grant variances and exceptions to the provisions contained in the Unified Development Code (UDC), where unique or extraordinary conditions exist or where strict adherence to the technical requirements of the Unified Development Code would create an undue hardship. In addition, the code requires that the applicant provide compensatory measures that directly offset the requested variances and exceptions. At this time the applicant is not proposing any compensatory measures; however, they are wrapping the stone wainscot around three (3) sides of the building as the Architecture Review Board (ARB) requested. That being said, requests for exceptions and variances to the *General Standards* and *Engineering Standards of Design and Construction* are discretionary decisions for the Planning and Zoning Commission. Staff should note that a supermajority vote (e.g. six [6] out of the seven [7] commissioners) -- with a minimum of four (4) votes in the affirmative -- is required for the approval of a variance or exception.

CONFORMANCE WITH OURHOMETOWN VISION 2040 COMPREHENSIVE PLAN

The Future Land Use Plan adopted with the OURHometown Vision 2040 Comprehensive Plan identifies the subject property as being situated in the Southwest Residential District. The Southwest Residential District "...contains a mixture of land uses that include existing medium and low density residential, heavy commercial/retail land uses (i.e. National Drive, Sids Road, and Mims Road) and commercial land uses." Strategy #2 in the Southwest Residential District indicates that the properties surrounding Sids Road and Mims Road contain some of the only land in the City for *Commercial/Industrial* land uses and that "...these areas should be protected from the encroachment of incompatible land uses." In this case, the applicant is proposing an *Office Building* without outside storage, which brings the property closer into conformance with the Heavy Commercial (HC) District standards and maintains the existing *Office* land use on subject property. Based on this the applicant's proposal appears to conform with the goals and policies of the Comprehensive Plan.

ARCHITECTURAL REVIEW BOARD (ARB) RECOMMENDATION

On July 25, 2023, the Architectural Review Board (ARB) reviewed the proposed building elevations. The ARB made the recommendation to the applicant to wrap the stone wainscot around the sides of the building, except for the rear of the building. Before the ARB takes action, they want to see the revised building elevations at the August 15, 2023 ARB meeting.

CONDITIONS OF APPROVAL

If the Planning and Zoning Commission chooses to approve the applicant's Site Plan for the construction of an *office building* on the *subject property*, then staff would propose the following conditions of approval:

- (1) All staff comments provided by the Planning, Engineering and Fire Department must be addressed prior to the submittal of engineering plans; and,
- (2) At this time a photometric plan has not been provided as the applicant has indicated no new lighting is to be added. That being said, if lighting is proposed at later date then a photometric plan and lighting cutsheets that meet the requirements of the Unified Development Code (UDC) must be provided; and,
- (3) Any construction resulting from the approval of this Site Plan shall conform to the requirements set forth by the Unified Development Code (UDC), the International Building Code (IBC), the Rockwall Municipal Code of Ordinances, city adopted engineering and fire codes and with all other applicable regulatory requirements administered and/or enforced by the state and federal government.



DEVELOPMENT APPLICATION

City of Rockwall
Planning and Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087

STAFF USE ONLY

PLANNING & ZONING CASE NO. _____

NOTE: THE APPLICATION IS NOT CONSIDERED ACCEPTED BY THE CITY UNTIL THE PLANNING DIRECTOR AND CITY ENGINEER HAVE SIGNED BELOW.

DIRECTOR OF PLANNING: _____

CITY ENGINEER: _____

PLEASE CHECK THE APPROPRIATE BOX BELOW TO INDICATE THE TYPE OF DEVELOPMENT REQUEST [SELECT ONLY ONE BOX]:

PLATTING APPLICATION FEES:

- MASTER PLAT (\$100.00 + \$15.00 ACRE)¹
- PRELIMINARY PLAT (\$200.00 + \$15.00 ACRE)¹
- FINAL PLAT (\$300.00 + \$20.00 ACRE)¹
- REPLAT (\$300.00 + \$20.00 ACRE)¹
- AMENDING OR MINOR PLAT (\$150.00)
- PLAT REINSTATEMENT REQUEST (\$100.00)

SITE PLAN APPLICATION FEES:

- SITE PLAN (\$250.00 + \$20.00 ACRE)¹ $1.5 \times 20 = \$30$
- AMENDED SITE PLAN/ELEVATIONS/LANDSCAPING PLAN (\$100.00)

ZONING APPLICATION FEES:

- ZONING CHANGE (\$200.00 + \$15.00 ACRE)¹
- SPECIFIC USE PERMIT (\$200.00 + \$15.00 ACRE)^{1 & 2}
- PD DEVELOPMENT PLANS (\$200.00 + \$15.00 ACRE)¹

OTHER APPLICATION FEES:

- TREE REMOVAL (\$75.00)
- VARIANCE REQUEST/SPECIAL EXCEPTIONS (\$100.00)²

NOTES:

¹: IN DETERMINING THE FEE, PLEASE USE THE EXACT ACREAGE WHEN MULTIPLYING BY THE PER ACRE AMOUNT. FOR REQUESTS ON LESS THAN ONE ACRE, ROUND UP TO ONE (1) ACRE.
²: A \$1,000.00 FEE WILL BE ADDED TO THE APPLICATION FEE FOR ANY REQUEST THAT INVOLVES CONSTRUCTION WITHOUT OR NOT IN COMPLIANCE TO AN APPROVED BUILDING PERMIT.

PROPERTY INFORMATION [PLEASE PRINT]

ADDRESS **955 SIDES ROAD**

SUBDIVISION **JD McFARLAND TRACT 8-3 ACRES 1.5** LOT _____ BLOCK _____

GENERAL LOCATION **SIDES & STATE HIGHWAY 205**

ZONING, SITE PLAN AND PLATTING INFORMATION [PLEASE PRINT]

CURRENT ZONING **COMMERCIAL**

CURRENT USE **OFFICE BUILDING**

PROPOSED ZONING **COMMERCIAL**

PROPOSED USE **OFFICE BUILDING**

ACREAGE **1.5**

LOTS [CURRENT] **1**

LOTS [PROPOSED] **1**

SITE PLANS AND PLATS: BY CHECKING THIS BOX YOU ACKNOWLEDGE THAT DUE TO THE PASSAGE OF HB3167 THE CITY NO LONGER HAS FLEXIBILITY WITH REGARD TO ITS APPROVAL PROCESS, AND FAILURE TO ADDRESS ANY OF STAFF'S COMMENTS BY THE DATE PROVIDED ON THE DEVELOPMENT CALENDAR WILL RESULT IN THE DENIAL OF YOUR CASE.

OWNER/APPLICANT/AGENT INFORMATION [PLEASE PRINT/CHECK THE PRIMARY CONTACT/ORIGINAL SIGNATURES ARE REQUIRED]

OWNER **TRI-TEX CONSTRUCTION INC.**

APPLICANT _____

CONTACT PERSON **DAVID LINDSAY**

CONTACT PERSON _____

ADDRESS **797 N GROVE RD**

ADDRESS _____

CITY, STATE & ZIP **RICHARDSON TX 75081**

CITY, STATE & ZIP _____

PHONE **214-460-0051**

PHONE _____

E-MAIL **DAVID@TRI-TEX.COM**

E-MAIL _____

NOTARY VERIFICATION [REQUIRED]

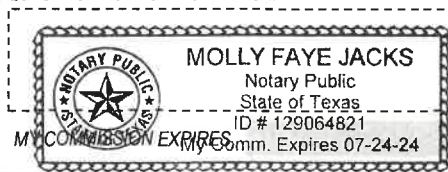
BEFORE ME, THE UNDERSIGNED AUTHORITY, ON THIS DAY PERSONALLY APPEARED David Lindsay [OWNER] THE UNDERSIGNED, WHO STATED THE INFORMATION ON THIS APPLICATION TO BE TRUE AND CERTIFIED THE FOLLOWING:

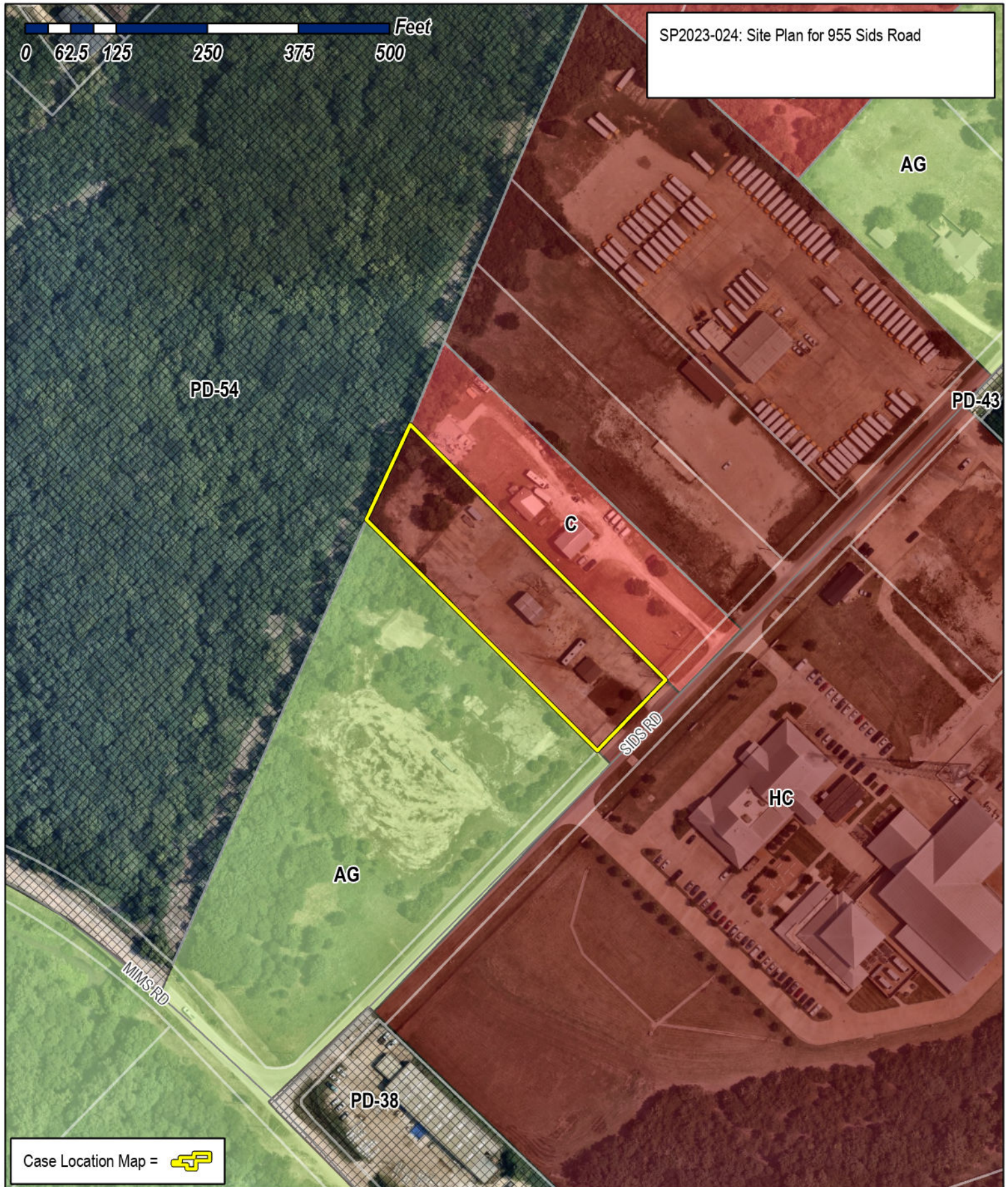
"I HEREBY CERTIFY THAT I AM THE OWNER FOR THE PURPOSE OF THIS APPLICATION; ALL INFORMATION SUBMITTED HEREIN IS TRUE AND CORRECT; AND THE APPLICATION FEE OF \$ 280.00 TO COVER THE COST OF THIS APPLICATION, HAS BEEN PAID TO THE CITY OF ROCKWALL ON THIS THE 14 DAY OF JULY, 2023. BY SIGNING THIS APPLICATION, I AGREE THAT THE CITY OF ROCKWALL (I.E. "CITY") IS AUTHORIZED AND PERMITTED TO PROVIDE INFORMATION CONTAINED WITHIN THIS APPLICATION TO THE PUBLIC. THE CITY IS ALSO AUTHORIZED AND PERMITTED TO REPRODUCE ANY COPYRIGHTED INFORMATION SUBMITTED IN CONJUNCTION WITH THIS APPLICATION, IF SUCH REPRODUCTION IS ASSOCIATED OR IN RESPONSE TO A REQUEST FOR PUBLIC INFORMATION."

GIVEN UNDER MY HAND AND SEAL OF OFFICE ON THIS THE 14 DAY OF July, 2023

OWNER'S SIGNATURE _____


NOTARY PUBLIC IN AND FOR THE STATE OF TEXAS _____





SP2023-024: Site Plan for 955 Sids Road

0 62.5 125 250 375 500 Feet

Case Location Map = 



City of Rockwall

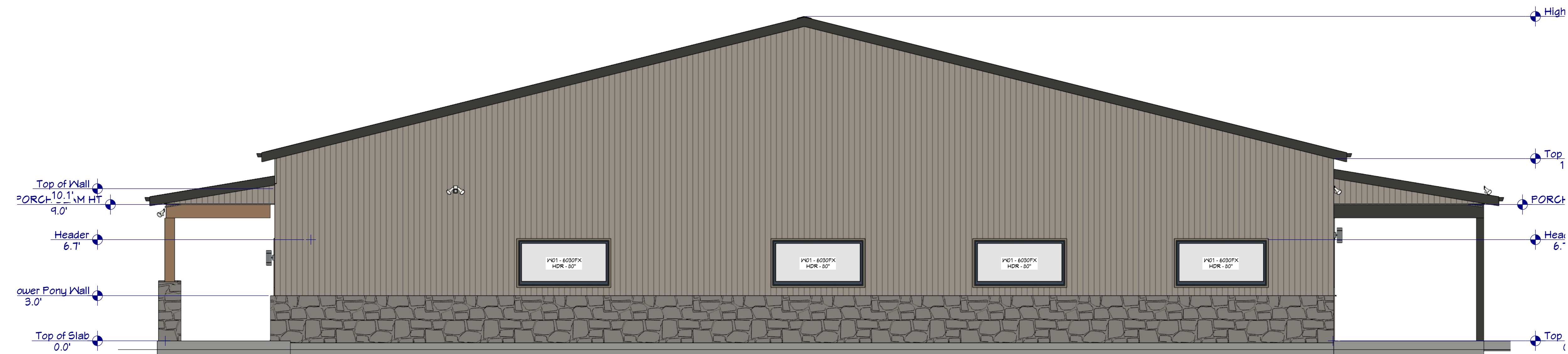
Planning & Zoning Department
 385 S. Goliad Street
 Rockwall, Texas 75087
 (P): (972) 771-7745
 (W): www.rockwall.com

The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.





Exterior Elevation Front
 MATERIALS (EXCLUDES DOORS/WINDOWS & ROOF):
 R PANEL: 429 SF
 STONE PONY WALL: 245 SF

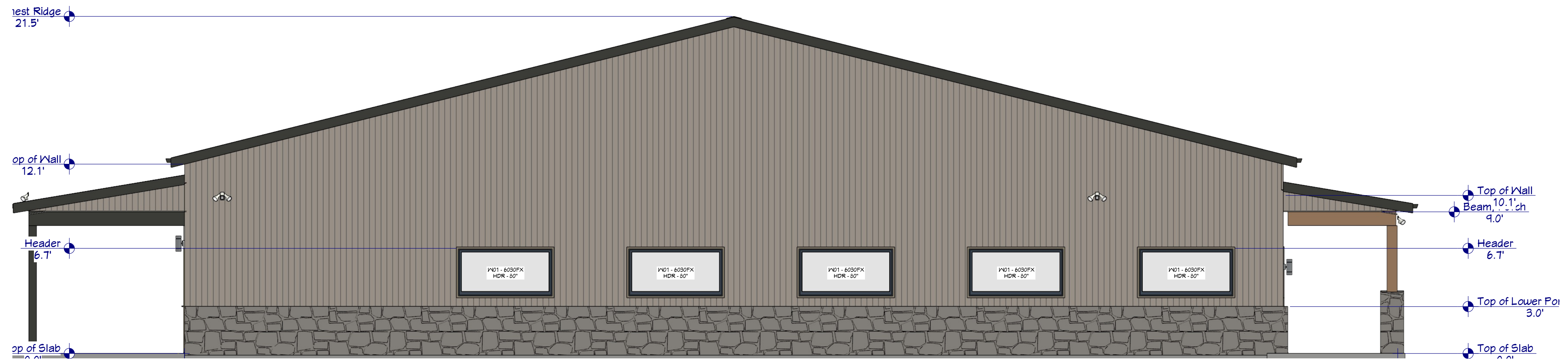


Exterior Elevation Right
 MATERIALS (EXCLUDES DOORS/WINDOWS & ROOF):
 R PANEL: 884 SF
 STONE PONY WALL: 212 SF

EXTERIOR MATERIALS:	
SOFFIT:	METAL
SIDING:	R PANEL, BEIGE
STONE:	36" PONY WALL, OKLAHOMA STONE
ROOF:	STANDING SEAM, BLACK
PORCH POSTS:	8" CEDAR, ROUGH SAWN
POST BASES (IF APPLICABLE):	18"X18"X48", OKLAHOMA STONE
CORNER TRIM:	YES
GUTTERS:	YES
(SEE STYLE SHEET FOR ADDITIONAL INFO.)	



Exterior Elevation Back
 MATERIALS (EXCLUDES DOORS/WINDOWS & ROOF):
 R PANEL: 1017 SF



Exterior Elevation Left
 MATERIALS (EXCLUDES DOORS/WINDOWS & ROOF):
 R PANEL: 866 SF
 STONE PONY WALL: 212 SF



FRONT-LEFT



FRONT-RIGHT



BACK-LEFT



BACK-RIGHT

GENERAL NOTES:

THE BUILDER SHALL VERIFY THAT SITE CONDITIONS ARE CONSISTENT WITH THESE PLANS BEFORE STARTING WORK. WORK NOT SPECIFICALLY DETAILED SHALL BE CONSTRUCTED TO THE SAME QUALITY AS SIMILAR WORK THAT IS DETAILED. ALL WORK SHALL BE DONE IN ACCORDANCE WITH INTERNATIONAL BUILDING CODES AND LOCAL CODES.

WRITTEN DIMENSIONS AND SPECIFIC NOTES SHALL TAKE PRECEDENCE OVER SCALED DIMENSIONS AND GENERAL NOTES. THE ENGINEER/DESIGNER SHALL BE CONSULTED FOR CLARIFICATION IF SITE CONDITIONS ARE ENCOUNTERED THAT ARE DIFFERENT THAN SHOWN, IF DISCREPANCIES ARE FOUND IN THE PLANS OR NOTES, OR IF A QUESTION ARISES OVER THE INTENT OF THE PLANS OR NOTES. CONTRACTOR SHALL VERIFY AND IS RESPONSIBLE FOR ALL DIMENSIONS (INCLUDING ROUGH OPENINGS).

PLEASE SEE ADDITIONAL NOTES CALLED OUT ON OTHER SHEETS.

BUILDING PERFORMANCE:

HEAT LOSS CALCULATIONS SHALL COMPLY WITH THE REQUIREMENTS OF REGIONAL AND LOCAL CODES. SEE CALCULATIONS. PORCHES, DECKS, FOUNDATION, FIREPLACE ENCLOSURES, AND GARAGE AREAS NOT INCLUDED IN LIVING AREA. ALL EXHAUST FANS TO BE VENTED DIRECTLY TO THE EXTERIOR. ALL PENETRATIONS OF THE BUILDING ENVELOPE SHALL BE SEALED WITH CAULK OR FOAM.

Layout Page Table

Number	Title
1	PROJECT OVERVIEW
2	ELEVATIONS
3	ELEVATIONS (CONT.)
4	SCHEDULES & STYLE
5	SITE PLAN
6	FOUNDATION/ROUGH-IN PLAN
7	ROOF PLAN - 1F
8	FRAMING PLAN - 1F
9	ELECTRICAL PLAN
10	CABINET PLAN

REV 02

PLANS PREPARED BY:
AARON HAMILTON
ABIDE HOME DESIGNS
ROYSE CITY, TX / 972-593-0959
AARON@ABIDEHOMEDESIGNS.COM

PROJECT
OVERVIEW

TRI-TEX CONSTRUCTION
INC.
955 SIDS RD
ROCKWALL, TX 75082



DATE:

8/8/2023

SCALE:

1/4"=1'

SHEET:

1

TOTAL CONDITIONED SF:	5600 SF
TOTAL SLAB SF:	6618 SF
TOTAL PORCHES UNDER ROOF:	970 SF
TOTAL UNDER ROOF SF:	6618 SF

Revision Table			
Label	Date	Revised By	Description
REV 01	4/3/2023	AJH	BID/REVIEW PLANS
REV 02	8/8/2023	AJH	EXTENDED MAINSCOT, GENERAL NOTE UPDATES, SITE PLAN/LANDSCAPE UPDATES

-INTERIOR & EXTERIOR 3D MODEL AVAILABLE (AS NEEDED) UPON REQUEST
-2D ELECTRONIC CAD FILE AVAILABLE (DWG, DXF) UPON REQUEST
-PLEASE REQUEST EITHER HOMEOWNER OR VIA DESIGNER CONTACT INFO

To the best of my knowledge these plans are drawn to comply with owner's and/or builder's specifications and any changes made on them after prints are made will be done at the owner's and/or builder's expense and responsibility. The contractor shall verify all dimensions and enclosed drawing. Hamilton Handcrafted/Abide Home Designs is not liable for errors once construction has begun. While every effort has been made in the preparation of this plan to avoid mistakes, the maker can not guarantee against human error. The contractor of the job must check all dimensions and other details prior to construction and be solely responsible thereafter.

BUILDING CONTRACTOR/HOME OWNER TO REVIEW AND VERIFY ALL DIMENSIONS, SPECS, LOCAL CODE/BUILDER REQUIREMENTS & CONNECTIONS BEFORE CONSTRUCTION BEGINS.

MIN. CODE RECOMMENDATIONS:
ELECTRICAL SYSTEM CODE: SEC.2701
MECHANICAL SYSTEM CODE: SEC.2801
PLUMBING SYSTEM CODE: SEC.2901
(CONSULT LOCAL/CITY BUILDING REQUIREMENTS)

SITE PLAN



NOT FOR CONSTRUCTION

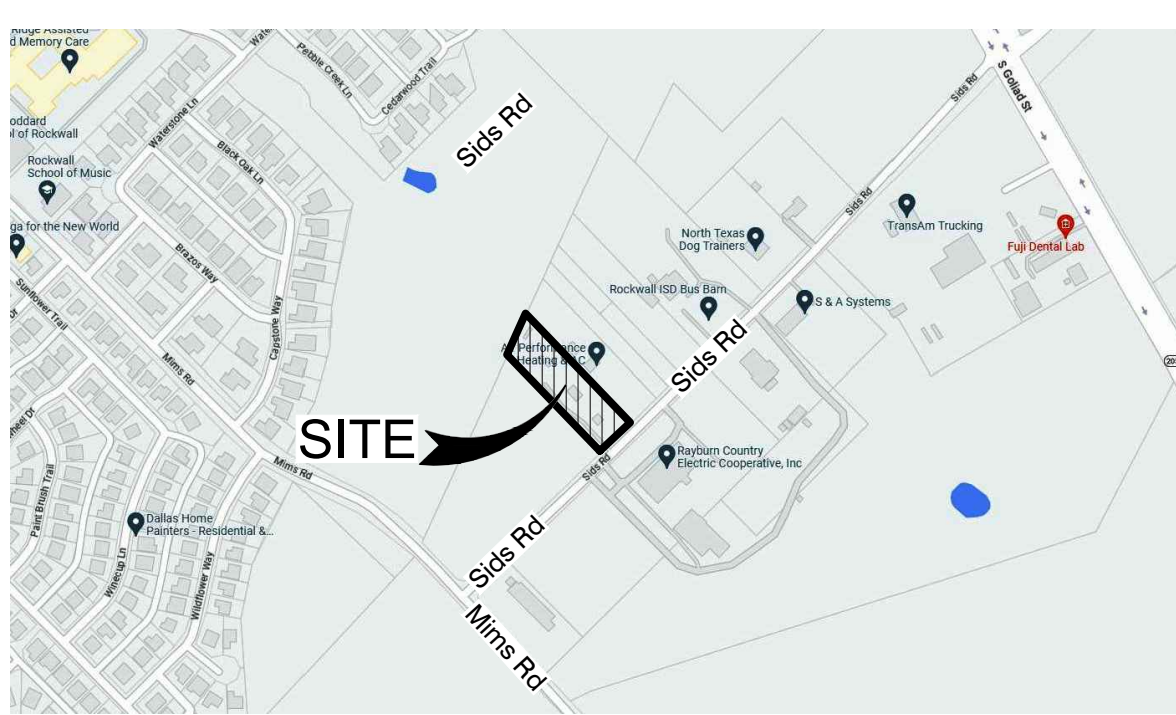
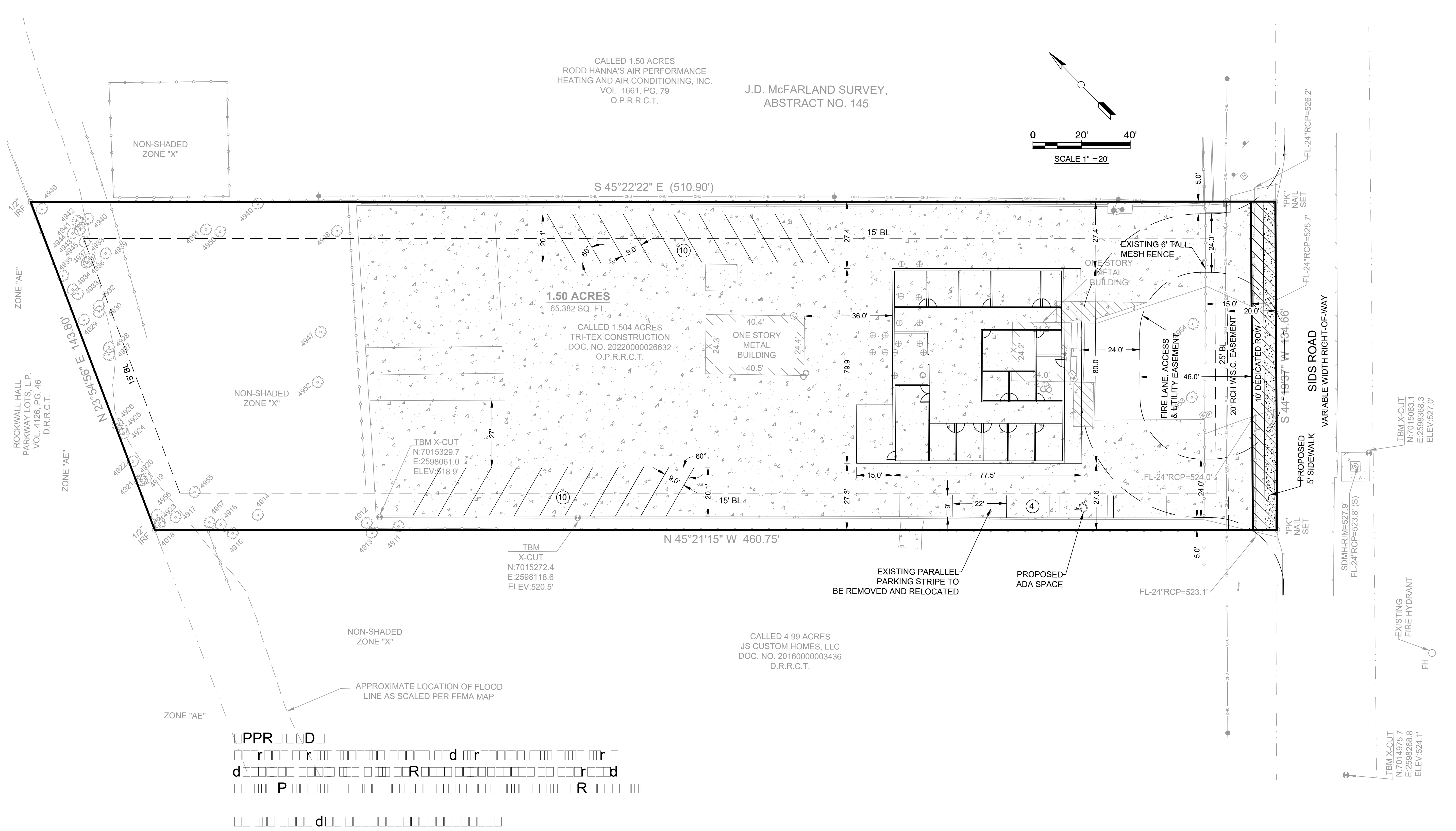
No.	Revision/Issue	Date

Firm Name and Address
TURNKEY TRACT
 2770 MAIN ST #171
 FRISCO, TX 75033
 F-22283
 nkcivilengineer4@gmail.com
 214-483-1599

Project Name and Address
OFFICE BUILDING
 955 SIDS ROAD
 ROCKWALL, TEXAS 75032
 SP2023-024

Project	Sheet
Date 08 / 04 / 2023	04
Scale	13

OWNER
 TRI-TEX CONSTRUCTION INC
 797 N GROVE RD
 RICHARDSON, TEXAS 75081



VICINITY MAP

CALLED 1.50 ACRES
 RODD HANNA'S AIR PERFORMANCE
 HEATING AND AIR CONDITIONING, INC.
 VOL. 1661, PG. 79
 O.P.R.R.C.T.

J.D. McFARLAND SURVEY,
 ABSTRACT NO. 145

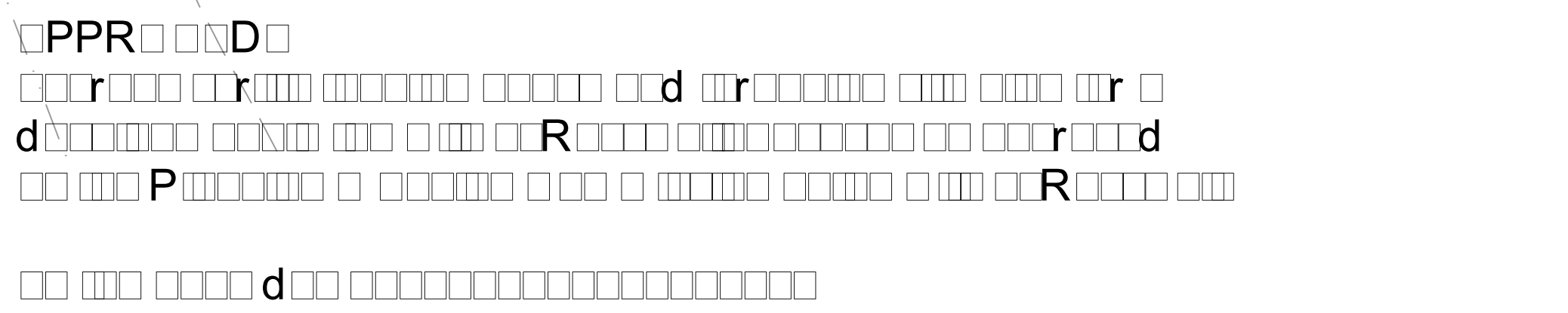
1.50 ACRES
 65,382 SQ. FT.
 CALLED 1.504 ACRES
 TRI-TEX CONSTRUCTION
 DOC. NO. 20220000026632
 O.P.R.R.C.T.

ONE STORY
 METAL BUILDING
 40.4'
 40.5'

CALLED 4.99 ACRES
 JS CUSTOM HOMES, LLC
 DOC. NO. 20160000003436
 D.R.R.C.T.

NON-SHADED
 ZONE "X"

APPROXIMATE LOCATION OF FLOOD
 LINE AS SCALED PER FEMA MAP



LOT AREA 1.50 ACRES
 65,382 SF
BUILDING COVERAGE: 5,600 SF

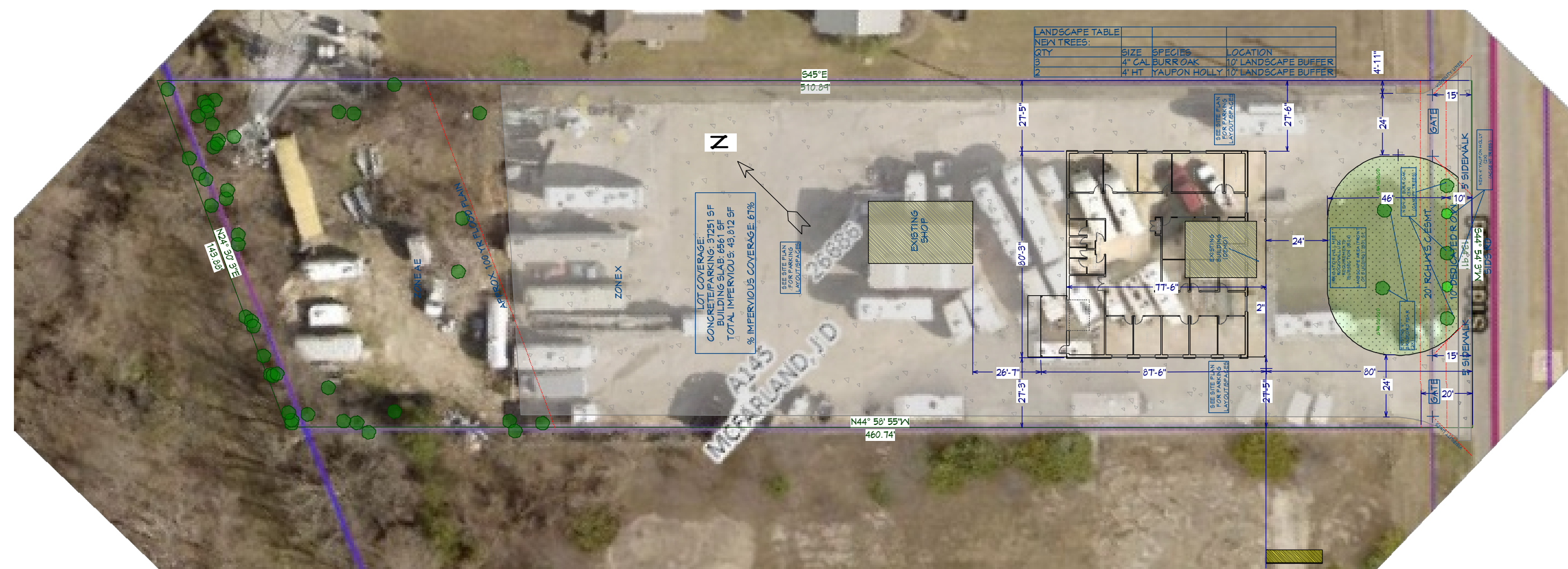
NOTE:
 NO OUTSIDE STORAGE PROPOSED IN THIS PROJECT
 POLY CARTS WILL BE USED FOR GARBAGE.

NOTE:
 ALL EXISTING WATER AND SANITARY SEWER CONNECTIONS TO THE
 EXISTING BUILDING WILL BE USED FOR THE PROPOSED BUILDING.

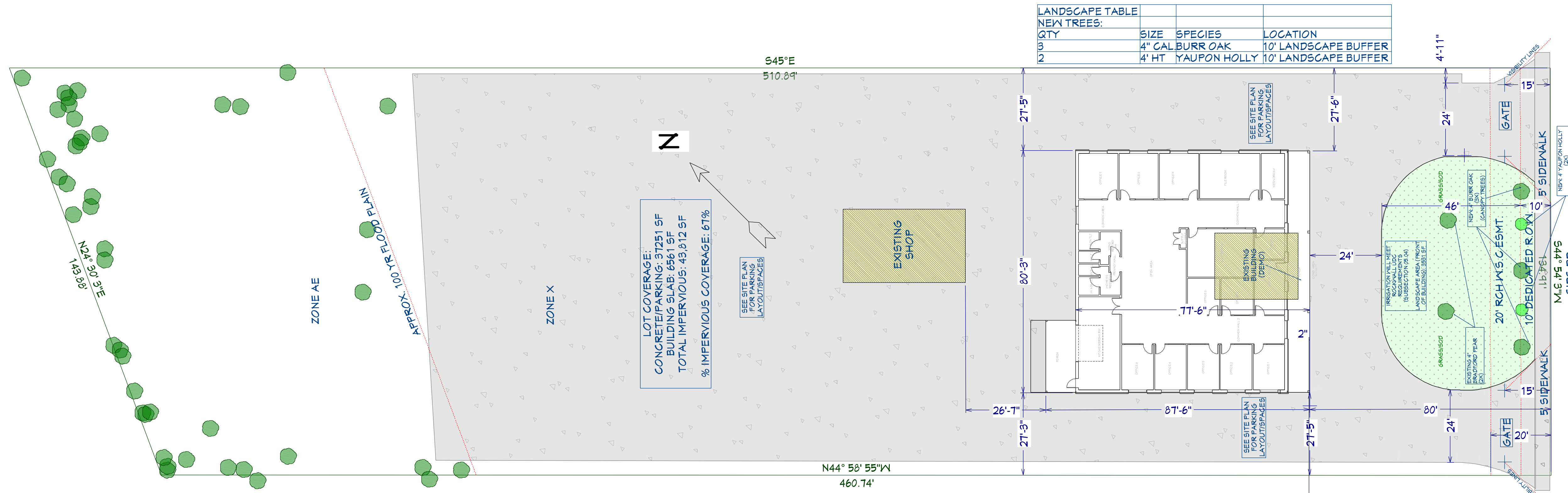
SITE DATA:
 SITE AREA = 65,382 SF / 1.50 ACRE
 PARKING REQUIRED = OFFICE: 1 PER 300 SF = 19 SPACES
 PARKING PROVIDED = 24 SPACES
 ADA SPACES PROVIDED = 1 SPACE

LAYOUT: CONCEPT LAYOUT

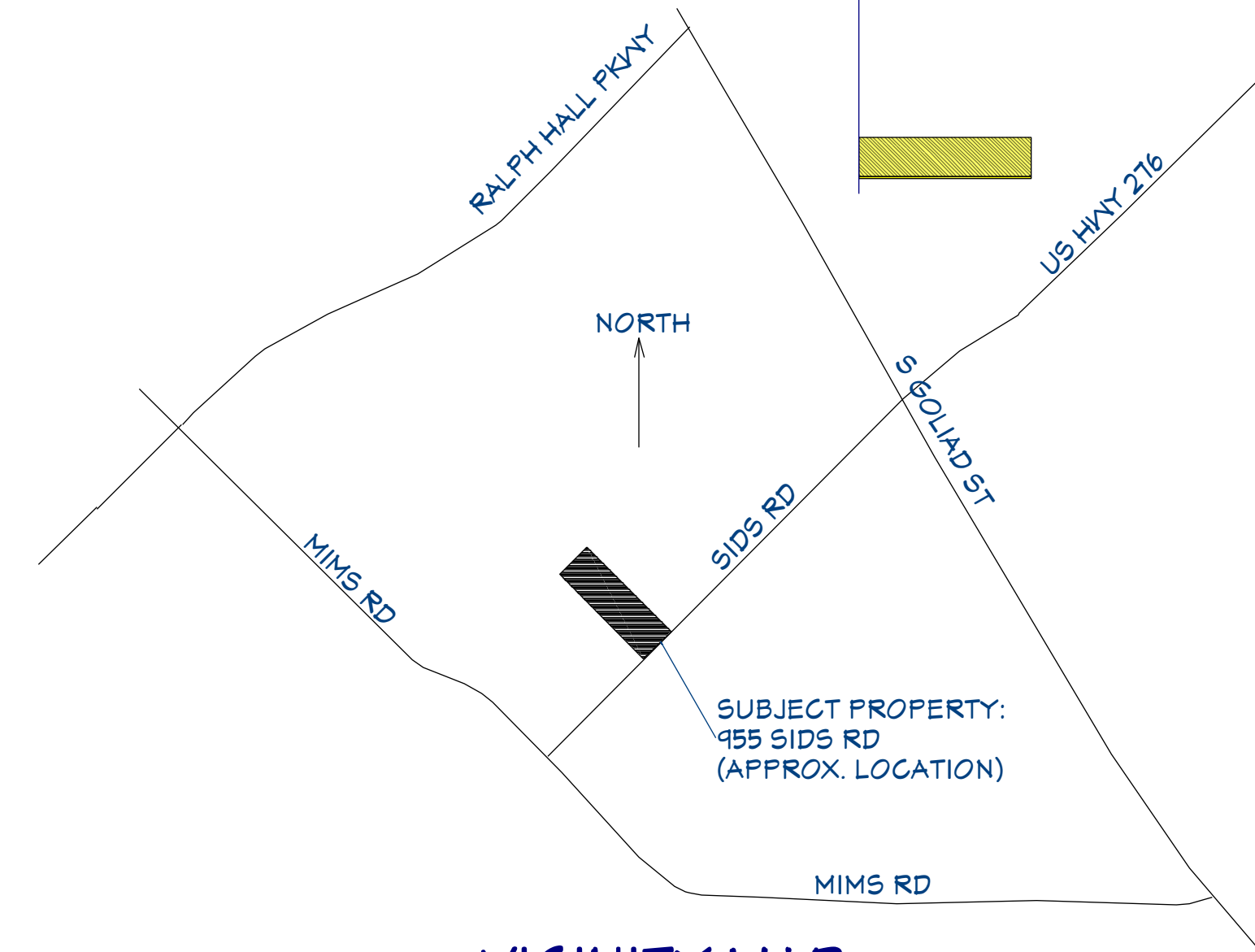
PATH: C:\Users\TT\Engineer\Drawings\2023_08\SP2023-024\Drawings\BASE DRAWINGS



SITE PLAN (SAT)
 SCALE: 1"=40'



SITE PLAN
 1/4"=1' SCALE



VICINITY MAP
 SCALE: 1"=40' (APPROX)

LANDSCAPE TABLE			
NEW TREES:			
QTY	SIZE	SPECIES	LOCATION
3	4"	CAL BURR OAK	10' LANDSCAPE BUFFER
2	4' HT	YAUPON HOLLY	10' LANDSCAPE BUFFER

SITE DATA:

PROPERTY WILL REMAIN ZONED AS-IS:
 COMMERCIAL, F1

PHOTOMETRICS - EXISTING SITE LIGHTING RETAINED. ALL LIGHTING
 SHALL BE DOWNWARD FACING AND FULLY SHIELDED.

DEVELOPER: TRI-TEX CONSTRUCTION INC.

SITE PLAN SIGNATURE BLOCK

APPROVED:

I hereby certify that the above and foregoing site plan for a development in the City of Rockwall, Texas, was approved by the Planning & Zoning Commission of the City of Rockwall on the [DAY] day of [MONTH], [YEAR].

WITNESS OUR HANDS, this [DAY] day of [MONTH], [YEAR].

Planning & Zoning Commission, Chairman

Director of Planning and Zoning

ELECTRONIC CAD FILES (.DWG, .DXF) AVAILABLE ON REQUEST

REV 02

PLANS PREPARED BY:
AARON HAMILTON
ABIDE HOME DESIGNS
ROYSE CITY, TX / 972-593-0959
AARON@ABIDEHOMEDESIGNS.COM

FOUNDATION/
ROUGH-IN PLAN

TRI-TEX CONSTRUCTION
INC.
955 SIDS RD
ROCKWALL, TX 75082



DATE:

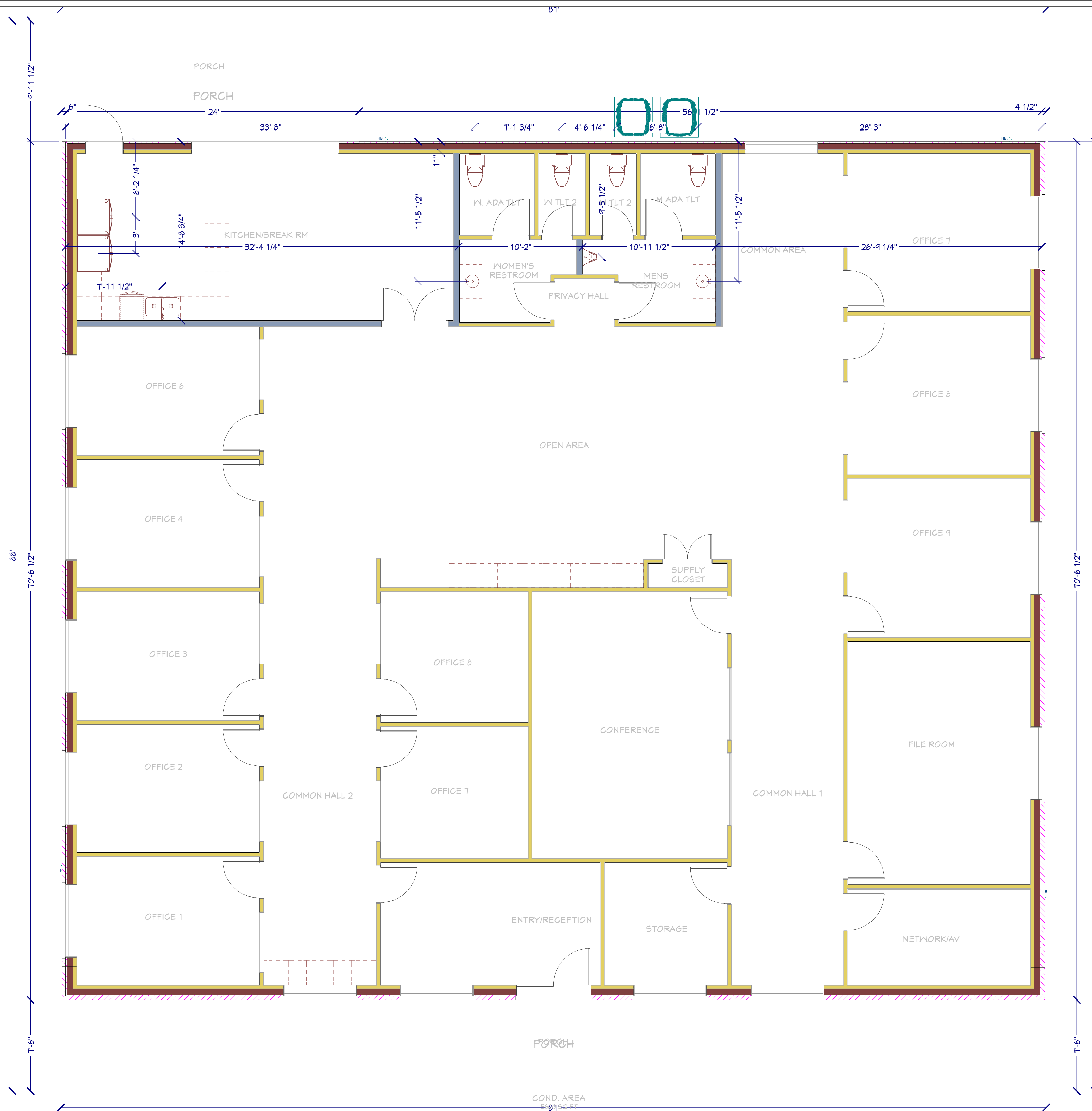
8/8/2023

SCALE:

1/4"=1'

SHEET:

6



FOUNDATION NOTES:

FOUNDATION TO BE ENGINEERED BY LICENSED STRUCTURAL ENGINEER TO DETERMINE BEAM/FOOTING SIZES, PIER LAYOUT, REINFORCEMENT AND POST TENSION REQUIREMENTS.

ALL WALK IN SHOWER PANS TO BE RECESSED 3.5" FROM MAIN SLAB HEIGHT.

BRICK LEDGE TO 5.5" IN WIDTH AND A MINIMUM OF 1.5" IN DEPTH WHERE SHOWN.

SLOPE ALL PORCHES AND GARAGES AWAY FROM HOUSE TO ENSURE PROPER WATER RUNOFF.

MINIMUM 1.5" STEP DOWN FROM MAIN SLAB TO GARAGE SLAB.

FOUNDATION PLAN DEFINES FOOTPRINT AND SLAB PENETRATION DEFINITION ONLY.

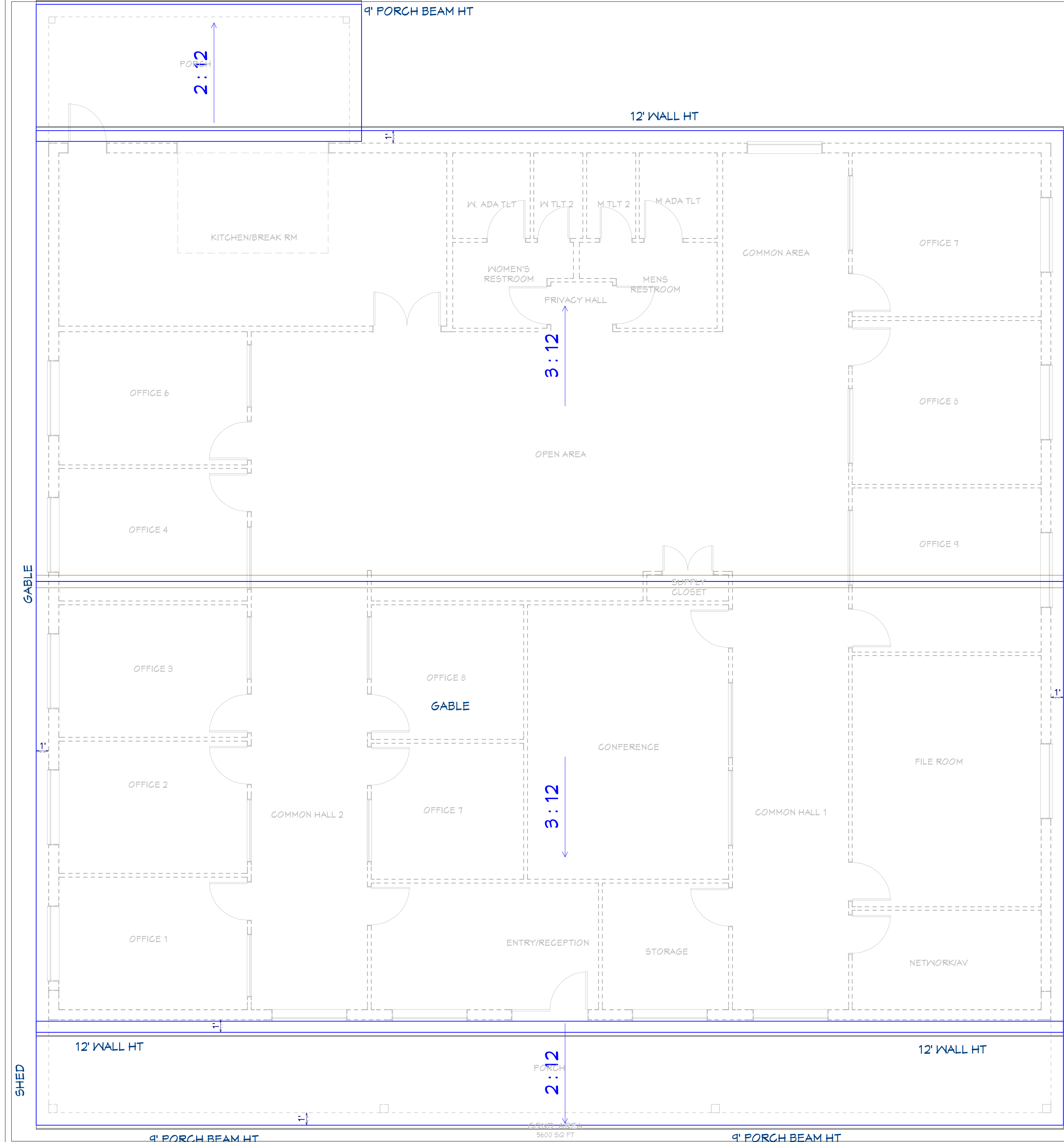
INFILTRATION, ALL OPENINGS IN THE EXT. BLDG. ENVELOPE SHALL BE SEALED AGAINST AIR INFILTRATION. THE FOLLOWING AREAS MUST BE SEALED.

- * JOINTS AROUND WINDOW AND DOOR FRAMES
- * JOINTS BETWEEN WALL CAVITY AND WINDOW/DR. FME.
- * JOINTS BETWEEN WALL AND FOUNDATION
- * JOINTS BETWEEN WALL AND ROOF
- * JOINTS BETWEEN WALL PANELS
- * UTILITY PENETRATIONS THROUGH EXTERIOR WALLS

GENERAL PLUMBING NOTES:

1. VERIFY FIXTURE SELECTIONS AND DRAIN LOCATIONS WITH HOMEOWNER PRIOR TO ROUGH-IN.
2. ALL SLAB WATER PENETRATIONS TO BE SLEEVED WITH PVC OR WRAPPED WITH FOAM INSULATION TO PROTECT WATER LINE FROM CHAFFING.
3. UTILIZE TUB BOXES FOR TUB AND SHOWER SLAB DRAIN PENETRATIONS.
4. ALL WATER LINES RUN UNDER SLAB TO BE INSULATED.
5. REFER TO SLAB ENGINEERING PLAN TO DETERMINE IDEAL EXTERIOR CLEANOUT AND SEWER DRAIN CONNECTION LOCATION.
6. ISLAND DRAIN, WATER AND/OR GAS TO BE LOCATED MINIMUM 2" INSIDE THE BACK OF CABINET WHERE APPLIANCE OR SINK IS LOCATED UNLESS OTHERWISE SPECIFIED.
7. ALL GAS LINES SHALL BE SIZED FOR APPLIANCE LOAD. "BLACK" PIPE SHALL BE USED INSIDE THE BUILDING, "GREEN" PIPE WHERE UNDERGROUND OR EXPOSED TO WEATHER. ALL JOINTS SHALL BE TAPED WHERE BURIED OR EXPOSED TO WEATHER.
8. PLUMBER TO ALLocate AN IN-HOME PRIMARY WATER SHUTOFF VALVE IN EASILY ACCESSIBLE WALL. VERIFY VALVE LOCATION WITH BUILDER/HOMEOWNER PRIOR TO ROUGH-IN.
9. MINIMUM 3X. FREEZE PROOF HOSE BIBS IF NOT SPECIFIED ON DRAWING. VERIFY HOSE BIB LOCATIONS WITH BUILDER/HOMEOWNER PRIOR TO ROUGH-IN.
10. PERMISSIBLE TO RUN IN-CEILING WATER DISTRIBUTION, PROVIDED LOCAL CODE REQUIREMENTS AND BUILDER PERMIT.

FOUNDATION ROUGH-IN



TOTAL ROOF SF:	7063 SF
METAL, STANDING SEAM, RIBBED, BLACK	
PRIMARY PITCH:	3:12
SECONDARY PITCH(ES):	2:12
EAVE STYLE:	RAKE/SCULPTED
GABLE OVERHANG:	12"
EAVE OVERHANG:	12"
EAVE RAFTER/FASCI/RAKE:	PLUMB CUT

ROOF PLAN

REV 02

PLANS PREPARED BY:
 AARON HAMILTON
 ABIDE HOME DESIGNS
 ROYSE CITY, TX / 972-533-0459
 AARON@ABIDEHOMEDESIGNS.COM

ROOF PLAN - 1F

TRI-TEX CONSTRUCTION
 INC.
 955 SIDS RD
 ROCKWALL, TX 75082



DATE:

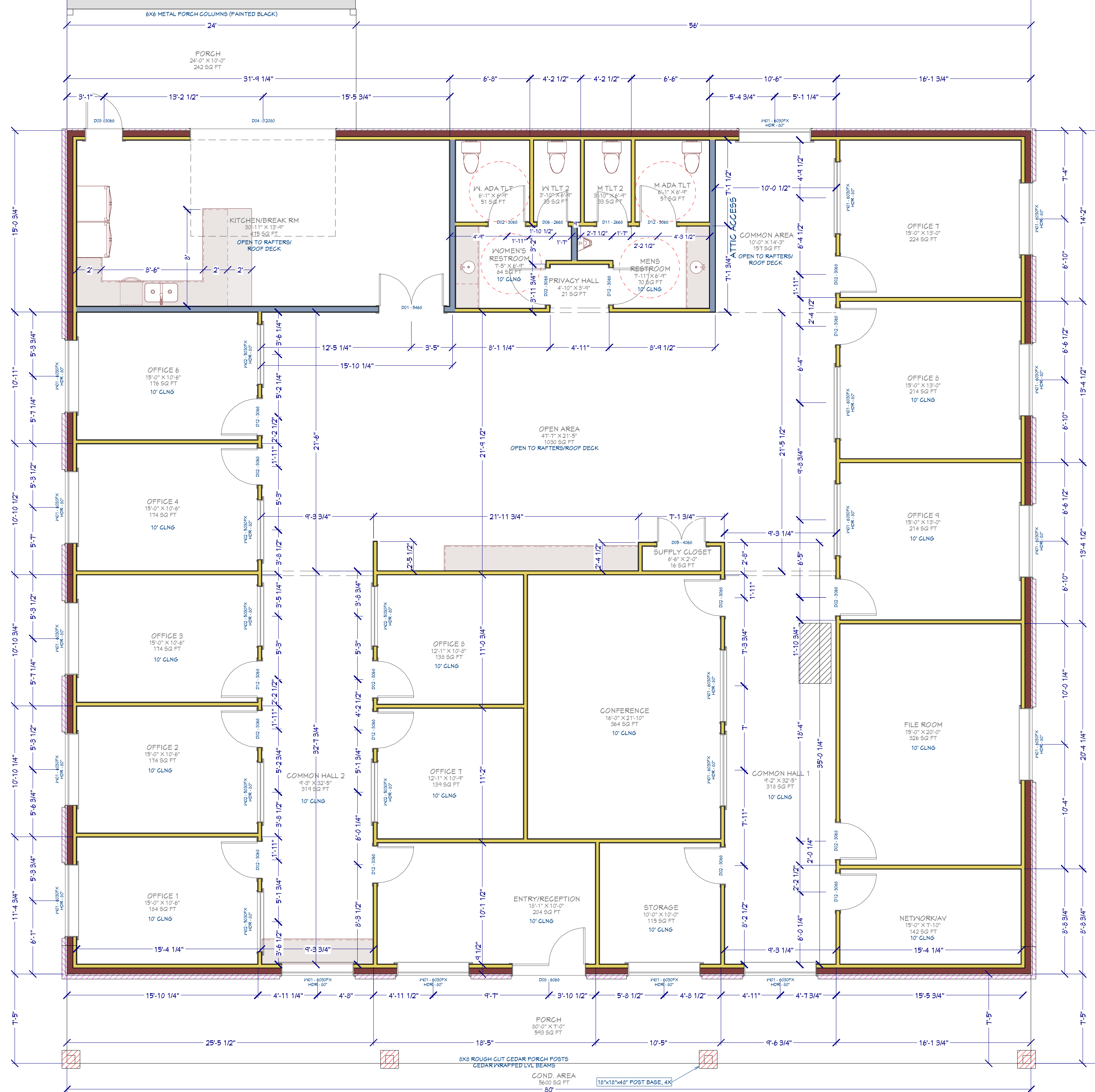
8/8/2023

SCALE:

1/4"=1'

SHEET:

7



ROOM AREA/CEILING SCHEDULE (UNLESS OTHERWISE SPECIFIED)			
FLOOR	ROOM NAME	AREA, INTERIOR (SQ FT)	CEILING HEIGHT
1	OPEN AREA	1007	N/A
1	FILE ROOM	299	121 1/8"
1	ENTRY/RECEPTION	181	121 1/8"
1	KITCHEN/BREAK RM	424	N/A
1	M TLT 2	26	121 1/8"
1	OFFICE 4	157	121 1/8"
1	M ADA TLT	41	121 1/8"
1	W ADA TLT	41	121 1/8"
1	OFFICE 7	195	121 1/8"
1	OFFICE 6	158	121 1/8"
1	NETWORK/AV	118	121 1/8"
1	OFFICE 8	129	121 1/8"
1	PRIVACY HALL	18	121 1/8"
1	MENS RESTROOM	62	121 1/8"
1	PORCH	560	104 1/8"
1	OFFICE 7	131	121 1/8"
1	COMMON AREA	142	N/A
1	COMMON HALL 2	299	121 1/8"
1	CONFERENCE	349	121 1/8"
1	WOMEN'S RESTROOM	57	121 1/8"
1	COMMON HALL 1	298	121 1/8"
1	STORAGE	101	121 1/8"
1	W TLT 2	26	121 1/8"
1	OFFICE 1	157	121 1/8"
1	OFFICE 2	157	121 1/8"
1	OFFICE 3	158	121 1/8"
1	SUPPLY CLOSET	13	121 1/8"
1	OFFICE 9	195	121 1/8"
1	OFFICE 8	195	121 1/8"
1	PORCH	234	104 1/8"
TOTALS:		5933	

FRAMING PLAN



ELECTRICAL - DATA - AUDIO LEGEND

SYMBOL	DESCRIPTION
	Ceiling Fan
	Ventilation Fans: Ceiling Mounted, Wall Mounted
	Ceiling Mounted Light Fixtures: Surface/Pendant, Recessed, Heat Lamp, Low Voltage
	Wall Mounted Light Fixtures: Flush Mounted, Wall Sconce
	Chandelier Light Fixture
	Fluorescent Light Fixture
	240V Receptacle
	110V Receptacles: Duplex, Weather Proof, GFCI
	Switches: Single Pole, Weather Proof, 3-Way, 4-Way
	Switches: Dimmer, Timer
	Audio Video: Control Panel, Switch
	Speakers: Ceiling Mounted, Wall Mounted
	Wall Jacks: CAT5, CAT5 + TV, TV/Cable
	Telephone Jack
	Intercom
	Thermostat
	Door Chime, Door Bell Button
	Smoke Detectors: Ceiling Mounted, Wall Mounted
	Electrical Breaker Panel

ELECTRICAL SCHEDULE

NUMBER	FLOOR	QTY	DESCRIPTION	ATTACHED TO
E01	1	104	RECESSED DOWN LIGHT 6	CEILING
E02	1	14	RECESSED DOWN LIGHT 4	CEILING
E03	1	8	SCOPE SCONCE	WALL
E04	1	6	CLASSIC CEILING FAN	CEILING
E05	1	7	SPOTLIGHT 2 MOTION SENSOR	WALL
E06	1	6	EXHAUST	CEILING
E07	1	38	SINGLE POLE	WALL

- ADDITIONAL ELECTRICAL ITEMS/NOTES:**
- SOFFIT PLUGS (FOR CHRISTMAS LIGHTS, ETC.) TO BE INSTALLED ON 4 CORNERS OF HOUSE & BETWEEN CORNERS IF SPACING EXCEEDS 50'.
 - UNDER CABINET AND UPPER GLASS BOX CABINET (IF APPLICABLE) TO BE INSTALLED ON ALL KITCHEN CABINETS.
 - MINIMUM 1X (UNLESS OTHERWISE SHOWN), WATERPROOF OUTLET ON ALL PORCHES, NEAR GARAGE DOOR.
 - IF POOL OR HOT TUB IS TO BE INSTALLED, ELECTRICIAN TO PROVISION THE FOLLOWING:
 - 30A 220V FOR POOL
 - 20A 110V FOR POOL ACCESSORIES
 - 50A 220V FOR ELECTRIC HOT TUB
 - ELECTRICIAN TO VERIFY WITH HOMEOWNER IF 50A/220V BACKUP GENERATOR PLUG IS REQUIRED.
 - ELECTRICIAN TO VERIFY HVAC POWER REQUIREMENTS WITH BUILDER PRIOR TO ELECTRICAL ROUGH-IN.
 - DATA/AUDIO/VIDEO/SECURITY WIRING INFO. MAY NOT BE SHOWN ON ELECTRICAL PLAN, BUILDER TO VERIFY REQUIREMENTS WITH HOMEOWNER.
 - SECURITY LIGHTS (MINIMUM 3X) TO BE INSTALLED AT LOCATIONS TO BE DEFINED BY HOMEOWNER.
 - FLOOR OUTLETS AND ISLAND WIRING CONDUIT (IF APPLICABLE) MUST BE PROVISIONED PRIOR TO SLAB CONSTRUCTION.

- ELECTRICAL, DATA, & AUDIO NOTES:**
 HOME OWNER SHALL DO A WALK-THRU WITH RELEVANT INSTALLERS TO VERIFY THE EXACT LOCATION FOR OUTLETS, LIGHTS, SWITCHES, CABLE, DATA, PHONE, AUDIO, ETC.
- ELECTRICAL NOTES:**
- ELECTRICAL RECEPTACLES IN BATHROOMS, KITCHENS AND GARAGES SHALL BE G.F.I. ORG.F.I.C. PER NATIONAL ELECTRICAL CODE REQUIREMENTS.
 - PROVIDE ONE SMOKE DETECTOR IN EACH ROOM AND ONE IN EACH CORRIDOR ACCESSING BEDROOMS. CONNECT SMOKE DETECTORS TO HOUSE POWER AND INTER-CONNECT SMOKE DETECTORS SO THAT, WHEN ANY ONE IS TRIPPED, THEY ALL WILL SOUND. PROVIDE BATTERY BACKUP FOR ALL UNITS.
 - CIRCUITS SHALL BE VERIFIED WITH HOME OWNER PRIOR TO WIRE INSTALLATION.
 - FINAL SWITCHES FOR TIMERS AND DIMMERS SHALL BE VERIFIED WITH HOME OWNER.
 - FIXTURES TO BE SELECTED BY HOME OWNER.
- AUDIO:**
- LOCATE SPEAKERS AND AUDIO CONTROLS AS INDICATED IN THE PLAN; RUN CIRCUIT OF SPEAKER WIRING TO AUDIO HOME PANEL SPECIFIED BY FLOOR;
 - AUDIO SPEAKERS TO BE APPROVED BY HOME OWNER;
 - LOCATE JACKS AS INDICATED IN THE PLAN; INSTALL DATA / CABLE PANEL SIMILAR TO "ON Q". SYSTEM TO BE APPROVED BY HOME OWNER.
- DATA / CABLE:**
- LOCATE SECURITY PANELS AS INDICATED IN THE PLAN; SYSTEM TO BE APPROVED BY HOME OWNER.

CABINET PLAN

TRI-TEX CONSTRUCTION
 INC.
 955 SIDS RD
 ROCKWALL, TX 75082



DATE:

8/8/2023

SCALE:

1/4"=1'

SHEET:

10



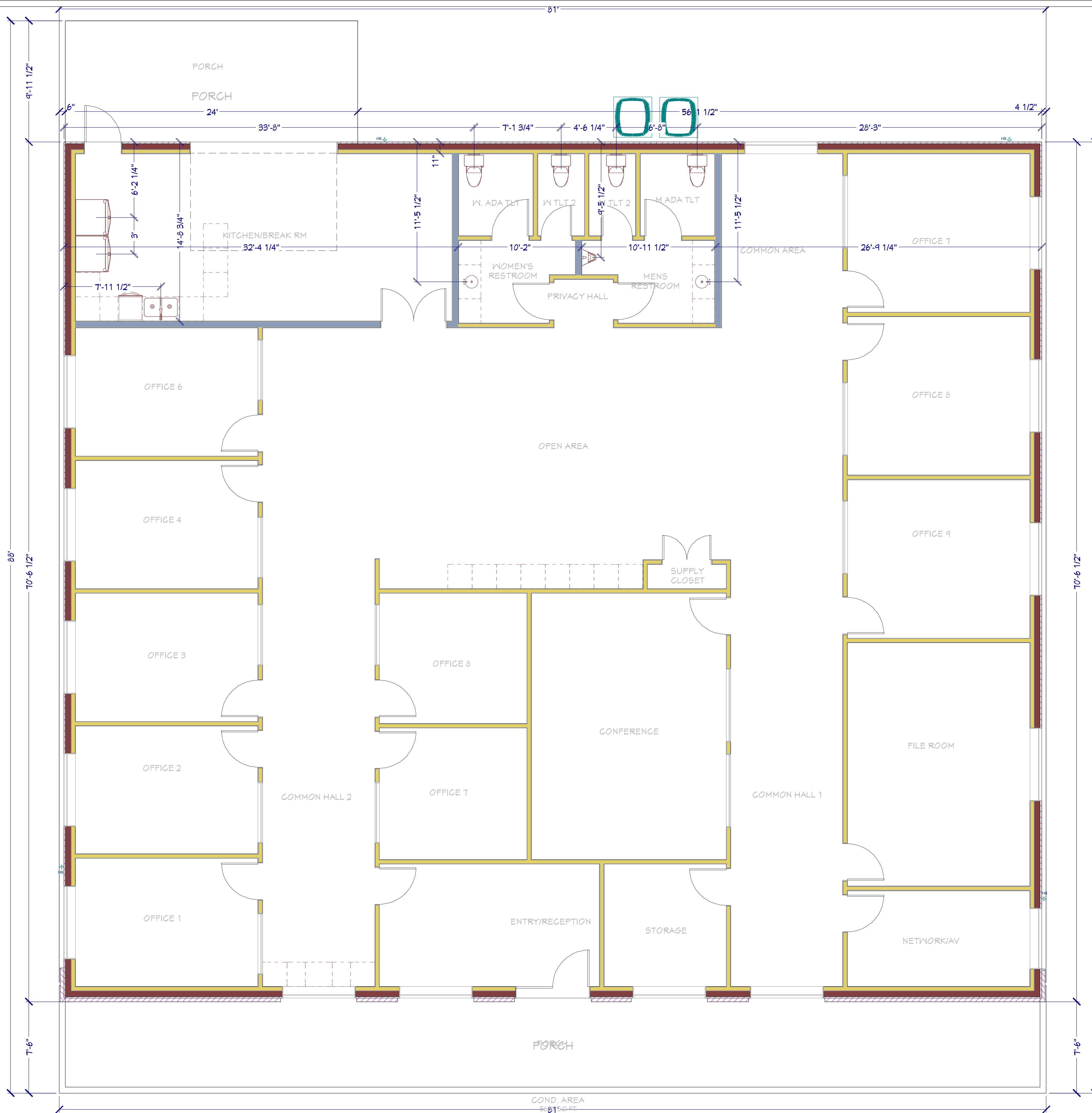
- SEE CABINET ELEVATIONS (NEXT SHEET) FOR CONCEPTUAL DOOR/
 DRAWER STYLE AND/OR CONFIGURATION
 - DOES NOT INCLUDE CLOSET SHELVES/ROD AND FLOATING OR
 DECORATIVE SHELVES

CABINET SCHEDULE								
NUMBER	LABEL	QTY	FLOOR	DESCRIPTION	ROOM NAME	WIDTH	DEPTH	HEIGHT
C05	B24R	2	1	BASE CABINET	KITCHEN/BREAK RM	24"	24"	36"
C06	BCB18R	1	1	BASE CABINET	KITCHEN/BREAK RM	18"	24"	36"
C07	SB36	1	1	BASE CABINET	KITCHEN/BREAK RM	36"	24"	36"
C08	BCB24R	3	1	BASE CABINET	KITCHEN/BREAK RM	24"	24"	36"
C09	B18R	2	1	BASE CABINET	COMMON HALL 2	18"	24"	36"
C10	B24R	2	1	BASE CABINET	COMMON HALL 2	24"	24"	36"
C11	B27	1	1	BASE CABINET	COMMON HALL 2	26 9/16"	24"	36"
C13	B24R	8	1	BASE CABINET	OPEN AREA	24"	24"	36"
C14	B2422L	2	1	BASE CABINET	MENS RESTROOM	24"	22"	36"
C15	SB3322	1	1	BASE CABINET	WOMEN'S RESTROOM	33 7/16"	22"	36"
C16	B2422R	2	1	BASE CABINET	WOMEN'S RESTROOM	24"	22"	36"
C17	SB3322	1	1	BASE CABINET	MENS RESTROOM	33 7/16"	22"	36"

CABINET PLAN

ELECTRONIC CAD FILES (.DWG, .DXF) AVAILABLE ON REQUEST

REV 01



FOUNDATION NOTES:

FOUNDATION TO BE ENGINEERED BY LICENSED STRUCTURAL ENGINEER TO DETERMINE BEAM/FOOTING SIZES, PIER LAYOUT, REINFORCEMENT AND POST TENSION REQUIREMENTS.

ALL WALK IN SHOWER PANS TO BE RECESSED 3.5" FROM MAIN SLAB HEIGHT.

BRICK LEDGE TO 5.5" IN WIDTH AND A MINIMUM OF 1.5" IN DEPTH WHERE SHOWN.

SLOPE ALL PORCHES AND GARAGES AWAY FROM HOUSE TO ENSURE PROPER WATER RUNOFF.

MINIMUM 1.5" STEP DOWN FROM MAIN SLAB TO GARAGE SLAB.

FOUNDATION PLAN DEFINES FOOTPRINT AND SLAB PENETRATION DEFINITION ONLY.

INFILTRATION, ALL OPENINGS IN THE EXT. BLDG. ENVELOPE SHALL BE SEALED AGAINST AIR INFILTRATION. THE FOLLOWING AREAS MUST BE SEALED.

- * JOINTS AROUND WINDOW AND DOOR FRAMES
- * JOINTS BETWEEN WALL CAVITY AND WINDOW/DR. FME.
- * JOINTS BETWEEN WALL AND FOUNDATION
- * JOINTS BETWEEN WALL AND ROOF
- * JOINTS BETWEEN WALL PANELS
- * UTILITY PENETRATIONS THROUGH EXTERIOR WALLS

GENERAL PLUMBING NOTES:

1. VERIFY FIXTURE SELECTIONS AND DRAIN LOCATIONS WITH HOMEOWNER PRIOR TO ROUGH-IN.
2. ALL SLAB WATER PENETRATIONS TO BE SLEEVED WITH PVC OR WRAPPED WITH FOAM INSULATION TO PROTECT WATER LINE FROM CHAFFING.
3. UTILIZE TUB BOXES FOR TUB AND SHOWER SLAB DRAIN PENETRATIONS.
4. ALL WATER LINES RUN UNDER SLAB TO BE INSULATED.
5. REFER TO SLAB ENGINEERING PLAN TO DETERMINE IDEAL EXTERIOR CLEANOUT AND SEWER DRAIN CONNECTION LOCATION.
6. ISLAND DRAIN, WATER AND/OR GAS TO BE LOCATED MINIMUM 2" INSIDE THE BACK OF CABINET WHERE APPLIANCE OR SINK IS LOCATED UNLESS OTHERWISE SPECIFIED.
7. ALL GAS LINES SHALL BE SIZED FOR APPLIANCE LOAD. "BLACK" PIPE SHALL BE USED INSIDE THE BUILDING, "GREEN" PIPE WHERE UNDERGROUND OR EXPOSED TO WEATHER. ALL JOINTS SHALL BE TAPED WHERE BURIED OR EXPOSED TO WEATHER.
8. PLUMBER TO ALLOCATE AN IN-HOME PRIMARY WATER SHUTOFF VALVE IN EASILY ACCESSIBLE WALL. VERIFY VALVE LOCATION WITH BUILDER/HOMEOWNER PRIOR TO ROUGH-IN.
9. MINIMUM 3X, FREEZE PROOF HOSE BIBS IF NOT SPECIFIED ON DRAWING. VERIFY HOSE BIB LOCATIONS WITH BUILDER/HOMEOWNER PRIOR TO ROUGH-IN.
10. PERMISSIBLE TO RUN IN-CEILING WATER DISTRIBUTION, PROVIDED LOCAL CODE REQUIREMENTS AND BUILDER PERMIT.

FOUNDATION ROUGH-IN

PLANS PREPARED BY:
AARON HAMILTON
ABIDE HOME DESIGNS
ROYSE CITY, TX / 972-593-0959
AARON@ABIDEHOMEDESIGNS.COM

FOUNDATION/
ROUGH-IN PLAN

TRI-TEX CONSTRUCTION
INC.
955 SIDS RD
ROCKWALL, TX 75082



DATE:

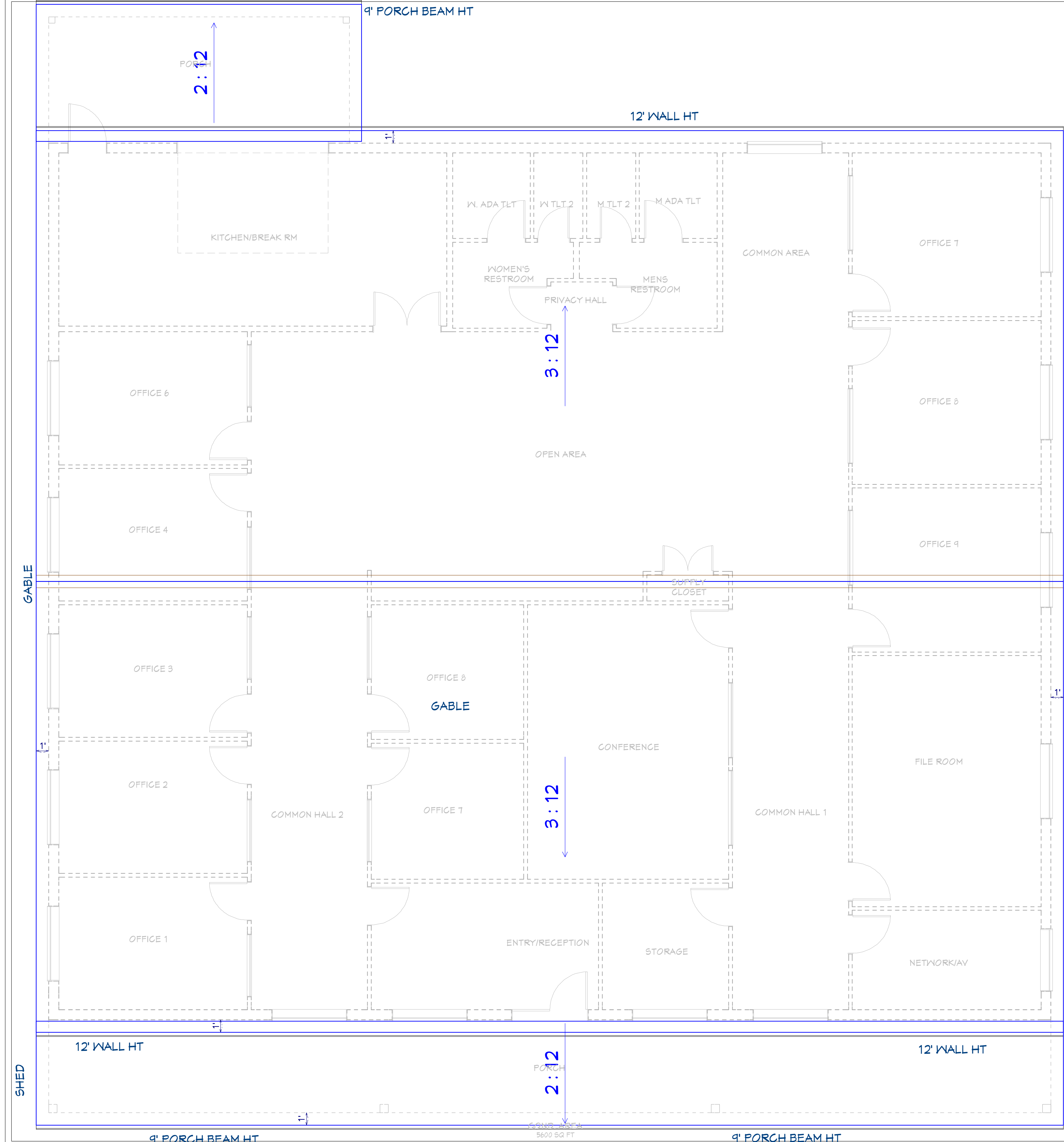
7/14/2023

SCALE:

1/4"=1'

SHEET:

6



TOTAL ROOF SF:	7063 SF
METAL, R PANEL, RIBBED, BLACK	
PRIMARY PITCH:	3:12
SECONDARY PITCH(ES):	2:12
EAVE STYLE:	RAKE/SCULPTED
GABLE OVERHANG:	12"
EAVE OVERHANG:	12"
EAVE RAFTER/FASCI/RAKE:	PLUMB CUT

ROOF PLAN

REV 01

PLANS PREPARED BY:
 AARON HAMILTON
 ABIDE HOME DESIGNS
 ROYSE CITY, TX / 972-533-0459
 AARON@ABIDEHOMEDESIGNS.COM

ROOF PLAN - 1F

TRI-TEX CONSTRUCTION
 INC.
 955 SIDS RD
 ROCKWALL, TX 75082



DATE:

7/14/2023

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1/4"=1'

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7



DATE:

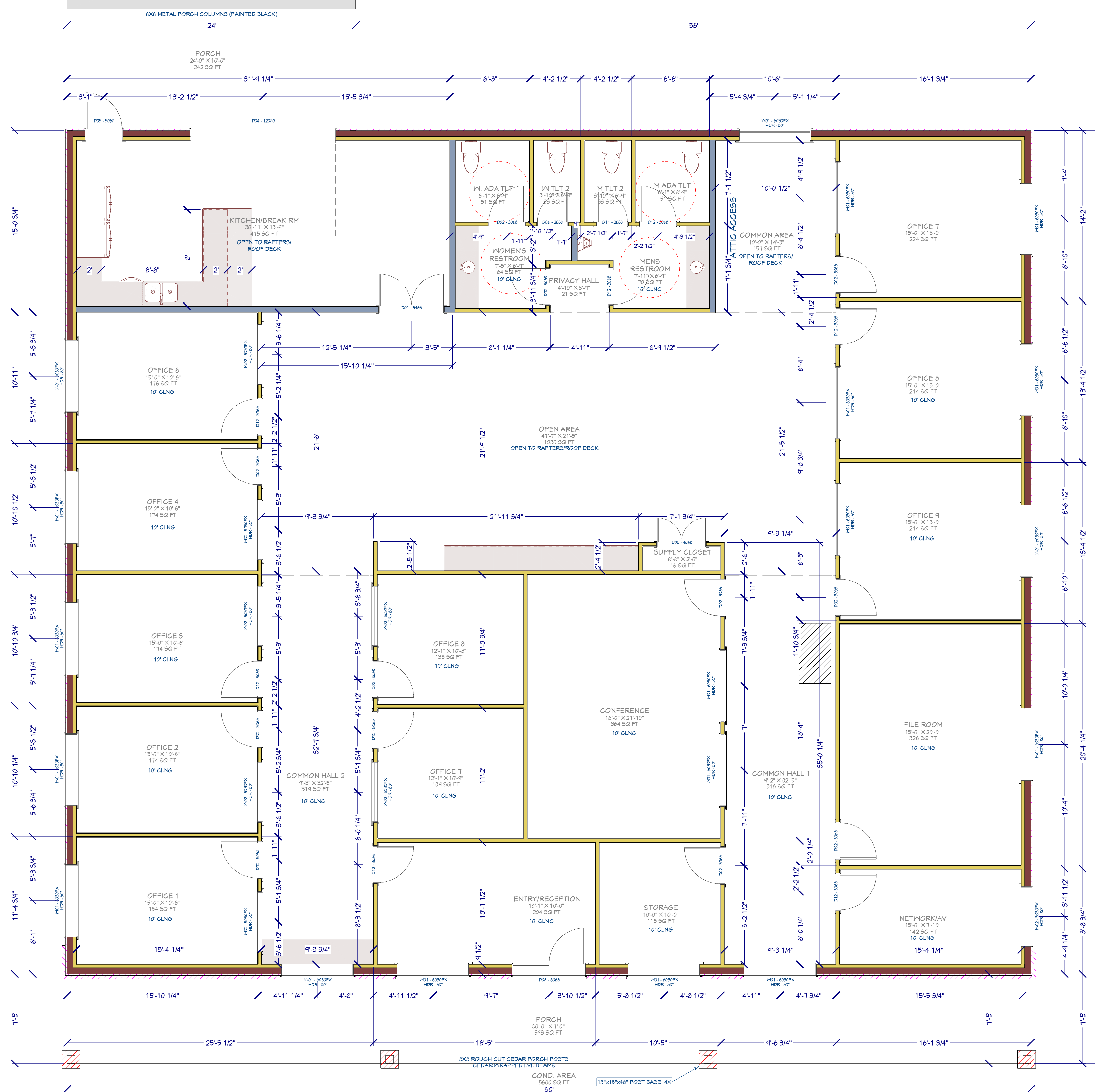
7/14/2023

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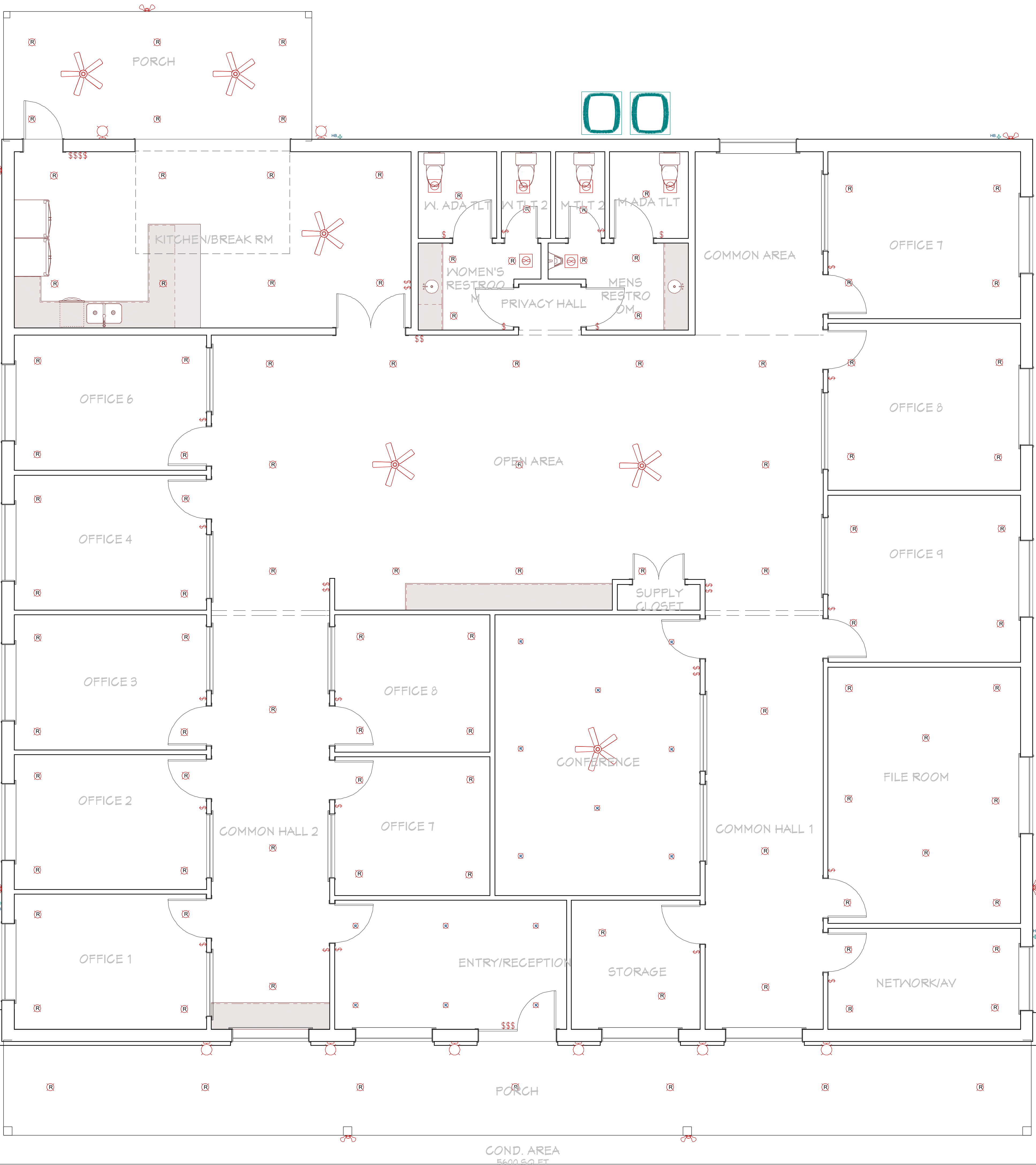
SHEET:

8



ROOM AREA/CEILING SCHEDULE (UNLESS OTHERWISE SPECIFIED)			
FLOOR	ROOM NAME	AREA, INTERIOR (SQ FT)	CEILING HEIGHT
1	OPEN AREA	1007	N/A
1	FILE ROOM	299	121 1/8"
1	ENTRY/RECEPTION	181	121 1/8"
1	KITCHEN/BREAK RM	424	N/A
1	M TLT 2	26	121 1/8"
1	OFFICE 4	157	121 1/8"
1	M ADA TLT	41	121 1/8"
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1	NETWORK/AV	118	121 1/8"
1	OFFICE 8	129	121 1/8"
1	PRIVACY HALL	18	121 1/8"
1	MENS RESTROOM	62	121 1/8"
1	PORCH	560	104 1/8"
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1	COMMON AREA	142	N/A
1	COMMON HALL 2	299	121 1/8"
1	CONFERENCE	349	121 1/8"
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1	OFFICE 1	157	121 1/8"
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1	SUPPLY CLOSET	13	121 1/8"
1	OFFICE 9	195	121 1/8"
1	OFFICE 8	195	121 1/8"
1	PORCH	234	104 1/8"
TOTALS:		5933	

FRAMING PLAN



ELECTRICAL - DATA - AUDIO LEGEND

SYMBOL	DESCRIPTION
	Ceiling Fan
	Ventilation Fans: Ceiling Mounted, Wall Mounted
	Ceiling Mounted Light Fixtures: Surface/Pendant, Recessed, Heat Lamp, Low Voltage
	Wall Mounted Light Fixtures: Flush Mounted, Wall Sconce
	Chandelier Light Fixture
	Fluorescent Light Fixture
	240V Receptacle
	110V Receptacles: Duplex, Weather Proof, GFCI
	Switches: Single Pole, Weather Proof, 3-Way, 4-Way
	Switches: Dimmer, Timer
	Audio Video: Control Panel, Switch
	Speakers: Ceiling Mounted, Wall Mounted
	Wall Jacks: CAT5, CAT5 + TV, TV/Cable
	Telephone Jack
	Intercom
	Thermostat
	Door Chime, Door Bell Button
	Smoke Detectors: Ceiling Mounted, Wall Mounted
	Electrical Breaker Panel

ELECTRICAL SCHEDULE

NUMBER	FLOOR	QTY	DESCRIPTION	ATTACHED TO
E01	1	104	RECESSED DOWN LIGHT 6	CEILING
E02	1	14	RECESSED DOWN LIGHT 4	CEILING
E03	1	8	SCOPE SCONCE	WALL
E04	1	6	CLASSIC CEILING FAN	CEILING
E05	1	7	SPOTLIGHT 2 MOTION SENSOR	WALL
E06	1	6	EXHAUST	CEILING
E07	1	38	SINGLE POLE	WALL

- ADDITIONAL ELECTRICAL ITEMS/NOTES:**
- SOFFIT PLUGS (FOR CHRISTMAS LIGHTS, ETC.) TO BE INSTALLED ON 4 CORNERS OF HOUSE & BETWEEN CORNERS IF SPACING EXCEEDS 50'.
 - UNDER CABINET AND UPPER GLASS BOX CABINET (IF APPLICABLE) TO BE INSTALLED ON ALL KITCHEN CABINETS.
 - MINIMUM 1X (UNLESS OTHERWISE SHOWN), WATERPROOF OUTLET ON ALL PORCHES, NEAR GARAGE DOOR.
 - IF POOL OR HOT TUB IS TO BE INSTALLED, ELECTRICIAN TO PROVISION THE FOLLOWING:
 - 30A 220V FOR POOL
 - 20A 110V FOR POOL ACCESSORIES
 - 50A 220V FOR ELECTRIC HOT TUB
 - ELECTRICIAN TO VERIFY WITH HOMEOWNER IF 50A/220V BACKUP GENERATOR PLUG IS REQUIRED.
 - ELECTRICIAN TO VERIFY HVAC POWER REQUIREMENTS WITH BUILDER PRIOR TO ELECTRICAL ROUGH-IN.
 - DATA/AUDIO/VIDEO/SECURITY WIRING INFO. MAY NOT BE SHOWN ON ELECTRICAL PLAN, BUILDER TO VERIFY REQUIREMENTS WITH HOMEOWNER.
 - SECURITY LIGHTS (MINIMUM 3X) TO BE INSTALLED AT LOCATIONS TO BE DEFINED BY HOMEOWNER.
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 - CIRCUITS SHALL BE VERIFIED WITH HOME OWNER PRIOR TO WIRE INSTALLATION.
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 - FIXTURES TO BE SELECTED BY HOME OWNER.
- AUDIO:**
- LOCATE SPEAKERS AND AUDIO CONTROLS AS INDICATED IN THE PLAN; RUN CIRCUIT OF SPEAKER WIRING TO AUDIO HOME PANEL SPECIFIED BY FLOOR;
 - AUDIO SPEAKERS TO BE APPROVED BY HOME OWNER;
 - LOCATE JACKS AS INDICATED IN THE PLAN; INSTALL DATA / CABLE PANEL SIMILAR TO "ON Q". SYSTEM TO BE APPROVED BY HOME OWNER.
- DATA / CABLE:**
 LOCATE SECURITY PANELS AS INDICATED IN THE PLAN; SYSTEM TO BE APPROVED BY HOME OWNER.

COND. AREA
5600 SQ. FT.

ELECTRICAL PLAN

CABINET PLAN

TRI-TEX CONSTRUCTION
 INC.
 955 SIDS RD
 ROCKWALL, TX 75082



DATE:

7/14/2023

SCALE:

1/4"=1'

SHEET:

10



- SEE CABINET ELEVATIONS (NEXT SHEET) FOR CONCEPTUAL DOOR/
 DRAWER STYLE AND/OR CONFIGURATION
 - DOES NOT INCLUDE CLOSET SHELVES/ROD AND FLOATING OR
 DECORATIVE SHELVES

CABINET SCHEDULE								
NUMBER	LABEL	QTY	FLOOR	DESCRIPTION	ROOM NAME	WIDTH	DEPTH	HEIGHT
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C10	B24R	2	1	BASE CABINET	COMMON HALL 2	24"	24"	36"
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CABINET PLAN

COND. AREA
 5600 SQ FT